



**Planning Commission
Regular Meeting
April 16, 2019
7:00 p.m.**

1. CALL MEETING TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. APPROVAL OF MINUTES
- March 19, 2019
5. CORRESPONDENCE / BOARD REPORTS
6. APPROVAL OF AGENDA
7. PUBLIC COMMENT: Restricted to (3) minutes regarding items not on this agenda
8. NEW BUSINESS
 - A. **REZ 2019-02 Public Hearing Rezone R5 to R2B** located at 5115 Stirrup Ln St.
Owner: Julie Recker (*Hold Public Hearing and make recommendation to the Board of Trustees*)
 - B. **SPR 2019-04 (SPA OF SPR 2019-02) Amend Site Plan** located 1963 E.
Remus Rd Owner: McDonalds (*Review and approve final site plan*)
 - C. **REZ 2019-03 Public Hearing Rezone R3A to OS** located at Rosewood Owner:
Rosewood (*Hold Public Hearing and make recommendation to the Board of Trustees*)
 - D. **SUP 2019-01 Public Hearing** Amended special use request located Lincoln Rd.
Owner: McQuirk Mini Storage (*Hold Public Hearing and make recommendation to the Board of Trustees*)
9. OTHER BUSINESS
10. EXTENDED PUBLIC COMMENT: Restricted to 5 minutes regarding any issue
11. FINAL BOARD COMMENT
12. ADJOURNMENT

CHARTER TOWNSHIP OF UNION
Planning Commission
Regular Meeting

A regular meeting of the Charter Township of Union Planning Commission was held on March 19, 2019 at the Township Hall.

Meeting was called to order at 7:02 p.m.

Roll Call

Present: Buckley, Clerk Cody, Darin, Fuller, LaBelle, Mielke, Shingles, Squattrito, and Webster

Others Present

Township Planner, Peter Gallinat and Secretary, Jennifer Loveberry

Approval of Minutes

LaBelle moved **Webster** supported the approval of the February 19, 2019 regular meeting as presented. **Vote: Ayes: 9 Nays: 0. Motion carried.**

Correspondence / Reports

- Mielke updates from the ZBA
- Clerk Cody updates from the Board of Trustees
- Webster updates from the Sidewalk and Pathway Prioritization Committee
- Squattrito reminded the Planning Commission of the Special PC meeting 3/20/19 @ 6:30pm

Approval of Agenda

Darin moved **Buckley** supported approval of the agenda as presented. **Vote: Ayes: 9 Nays 0. Motion carried.**

Public Comment – 7:07 p.m.

No comments were offered.

New Business

- A. SPR 2019-02 McDonald's addition of 2nd drive thru located at 1963 E. Remus Rd. Owner McDonald's USA LLC (Review and approve final site plan)**

Introduction by Township Planner

Applicant John Lorentzen presented request to construct addition of 2nd drive thru on site. Approvals received from Mt. Pleasant Fire Department, Isabella County Transportation Commission, ICRC, MDOT, and Township Utilities have been received. Isabella County Drain Commission for storm water have been submitted. Provisional relief from construction of sidewalks have been requested.

Webster moved **Buckley** supported to approve SPR 2019-02 McDonald's addition of 2nd drive thru located at 1963 E. Remus Rd. Owner McDonald's USA LLC as presented on the site plan,

provisional relief for sidewalks construction was not granted. The following condition required for approval listed on the site plan: comply with Isabella County Drain Commission review regarding storm water management plan/comments. **Vote: Ayes: 9 Nays: 0 Motion carried.**

B. SPR 2019-03 SOS Holdings LLC located at 5316 E. Pickard Rd. Owner SOS Holdings LLC (Review and approve final site plan)

Introduction by Township Planner, he stated that the applicant is seeking a variance from the ZBA in April for parking area set back requirements

Tim Beebe, CMS & D, on behalf of the applicant, presented request to construct a medical office. Approvals received from Mt. Pleasant Fire Department, Isabella County Transportation Commission, ICRC, Isabella County Drain Commission for storm water, and Township Utilities have been received.

Buckley moved **Fuller** supported to approve SPR 2019-03 SOS Holdings LLC located at 5316 E. Pickard Owner SOS Holdings LLC as presented, with the following condition: obtain approval of variance requested. **Vote: Ayes: 9 Nays: 0 Motion carried.**

C. 2019 Planning Commission Election of Officers

Webster moved **Buckley** supported to re-elect the current officers (Chair Squattrito, Vice Chair Mielke, Secretary Fuller, Vice Secretary Darin) for consecutive terms of the same office, per the Planning Commission Bylaws. **Vote: Ayes: 9 Nays: 0 Motion carried.**

Other Business

Extended Public Comment

Open 8:19 p.m.

No comments were offered.

Final Board Comment

Darin – Commented on sidewalk policy implementation helping during site plan reviews.

Adjournment – Chairman Squattrito adjourned the meeting at 8:20 p.m.

APPROVED BY:

Alex Fuller - Secretary
Mike Darin – Vice Secretary

(Recorded by Jennifer Loveberry)



Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	Lisa	Cody	11/20/2020
2-Chair	Phil	Squattrito	2/15/2020
3- Vice Chair	Bryan	Mielke	2/15/2021
4-Secretary	Alex	Fuller	2/15/2020
5 - Vice Secretary	Mike	Darin	2/15/2022
6	Stan	Shingles	2/15/2021
7	Ryan	Buckley	2/15/2022
8	Denise	Webster	2/15/2020
9	Doug	LaBelle II	2/15/2022
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1-Chair	Tim	Warner	12/31/2019
2-PC Rep / Vice Chair	Bryan	Mielke	2/18/2021
3-Secretary	Jake	Hunter	12/31/2019
4- Vice Secretary	Andy	Theisen	12/31/2019
5	Taylor	Sheahan-Stahl	12/31/2021
Alt. #1	John	Zerbe	12/31/2019
Alt. #2	Liz	Presnell	2/15/2021
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Doug	LaBelle II	12/31/2020
2	James	Thering	12/31/2020
3	Bryan	Neyer	12/31/2020
Alt #1	Randy	Golden	1/25/2021
Citizens Task Force on Sustainability (4 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Don	Long	12/31/2020
2	Mike	Lyon	12/31/2020
3	vacant seat		12/31/2018
4	Phil	Mikus	11/20/2020
Construction Board of Appeals (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Colin	Herron	12/31/2019
2	Richard	Jakubiec	12/31/2019
3	Andy	Theisen	12/31/2019
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2020
2	John	Dinse	12/31/2019
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2019
2	Lynn	Laskowsky	12/31/2021



Board Expiration Dates

EDA Board Members (11 Members) 4 year term			
#	F Name	L Name	Expiration Date
1	Thomas	Kequom	4/14/2023
2	James	Zalud	4/14/2023
3	Richard	Barz	2/13/2021
4	Robert	Bacon	1/13/2023
5	Ben	Gunning	11/20/2020
6	Marty	Figg	6/22/2022
7	Sarvjit	Chowdhary	1/20/2022
8	Cheryl	Hunter	6/22/2019
9	Vance	Johnson	2/13/2021
10	Michael	Smith	2/13/2021
11	David	Coyne	3/26/2022
Mid Michigan Area Cable Consortium (2 Members)			
#	F Name	L Name	Expiration Date
1	Kim	Smith	12/31/2020
2	Vacant		
Cultural and Recreational Commission (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1	Brian	Smith	12/31/2019
Sidewalks and Pathways Prioritization Committee (2 year term)			
#	F Name	L Name	Expiration Date
1 BOT Representative	Phil	Mikus	7/26/2019
2 PC Representative	Denise	Webster	8/15/2020
3 Township Resident	Sherrie	Teall	8/15/2019
4 Township Resident	Jeremy	MacDonald	10/17/2020
5 Member at large	Connie	Bills	8/15/2019



Peter Gallinat, Township Planner
pgallinat@uniontownshipmi.com
2010 South Lincoln
Mt. Pleasant, MI 48858
Phone 989-772-4600 Ext. 241
Fax 989-773-1988

TO: Planning Commission
FROM: Township Planner

New Business

SUBJECT: A) REZ 2019-02 5115 Stirrup Dr. Rezone from R-5 to R-2B.

Applicant: Julie M. Recker

Owner: Julie M. Recker

Location: 1963 E. Remus Rd. MT PLEASANT, MI 48858

Current Zoning: R-5 (Mobile or Modular Home District)

Adjacent Zoning: R-2B & R-5

Future Land Use/Intent: Residential: After agriculture, this category is the township's predominant land use, and is meant to promote single-family homes on a variety of lot sizes. With new development, subdivision design should protect open space and natural features and limit single driveways onto corridors.

Current Use: Existing one family dwelling structure.

Reason for Request: If rezoned from R-5 to R-2B applicant desires to seek a SUP to operate a group day care home at their residence.

History: Parcel is a part of Copper Estates Subdivision approved last decade.

Objective of board: The Planning Commission shall submit the proposed amendment, along with its recommendation, to the Township Board for consideration within sixty (60) days from the conclusion of the public hearing.

Recommendation from Township Planner

The lot is undersized and does not meet the minimum lot size or width for the R-2B District. If rezoned the lot would become legal non-conforming. If the SUP is later applied the PC could approve the SUP on the condition that the applicant obtain a dimensional variance from the ZBA. However, that is after the rezone. The FLU Map of the Master Plan would support this application as it stays a residential classification. Many other parcels in the neighborhood already are R-2B so, it would not change the character of the neighborhood.

Peter Gallinat
Township Planner

APPLICATION FOR ZONING CHANGE
CHARTER TOWNSHIP OF UNION
ISABELLA COUNTY, MICHIGAN

APPLICATION NO. _____

DATE 3/2/19

A. I (WE) Julie M. Becker

Address 5115 Stirrup Lane

Phone 989-330-4356

hereby file an application with the Township Clerk's office to:

1. Add to or change the text of the Zoning Ordinance.
2. Change the district boundaries.
3. Re-zone the property from RS
zoning classification to R2B
zoning classification.

B. If this application is for a text amendment please describe in detail what you would like to change. Give section numbers and proposed changes, standards, and procedures.

DIA

C. If this application is for the re-zoning of property please provide a complete legal description.

T14N R4W S834 Copper Estates Unit 26

D. If this application is for re-zoning please provide a complete common description. (address, cross roads, etc.)

5115 Stirrup Lane Mt. Pleasant MI 48858
Bridle Lane / Saddle Lane

E. Please provide reasons for requesting text amendment or zoning change and include intended use of any land, buildings, or structures.

Required for opening a group day care allowing 7-12 children

F. Please provide a site plan for any property to be re-zoned following the requirements outlined in Section 12 of the Union Township Zoning Ordinance 1991-5.

G. List names and addresses of property owners lying within 300 feet of the property to be re-zoned. (use separate sheet)

H. List all or any easements or right-of-ways which have been granted said properties herein described.

None

CERTIFICATION:

I (WE) hereby certify that the afore information is accurate and assume responsibility for any error.

SIGNED:

John M. Becker _____ 3/22/19
Applicant Date

Applicant Date

Applicant Date

** FOR OFFICE USE ONLY **

Date application referred to Planning Commission _____

Date public hearing notice published _____

Date public hearing notice mailed _____

Planning Commission Action. ___ Adopted ___ Denied Date _____

Date referred to County Planning Commission _____

Township Board Action ___ Adopted ___ Denied Date _____

Remarks: _____

FEE _____ RECEIPT NO. _____

digitalfirst M E D I A

MICHIGAN GROUP

AFFIDAVIT OF PUBLICATION
2125 Butterfield Dr, Suite 102N • Troy MI 48084

CHARTER TOWNSHIP OF UNION
2010 S Lincoln

Mount Pleasant, MI 48858
Attention: PETER GALLINAT

STATE OF MICHIGAN,
COUNTY OF ISABELLA

The undersigned Cyndy Slater Gray Slater, being duly sworn the he/she is the principal clerk of Morning Sun, morningstarpublishing.com, published in the English language for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

UNION TOWNSHIP PUBLIC HEARING NOTICE -REZONING

NOTICE is hereby given that a Public Hearing will be held on Tuesday, April 16, 2019, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following request for rezoning of property from R-5 (Mobile or Modular Home District) to R-2B (One and Two Family Medium Density Residential District) as allowed by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by **Jude M. Becker** A rezoning of R-5 (Mobile or Modular Home District) to R-2B (One and Two Family Medium Density Residential).

Legal Description of property: T14N R4W SEC 34; COPPER ESTATES UNIT 26

This property is located at: 5115 Stirrup Dr. MOUNT PLEASANT, MI 48858
PID 14-050-00-026-00

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

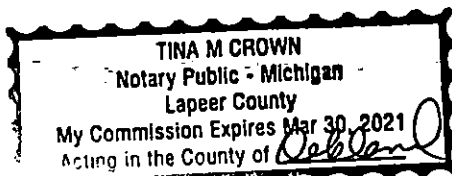
Peter Gallinat,
Township Planner

Published: April 1, 2019

CHARTER TOWNSHIP OF UNION

Published in the following edition(s):

Morning Sun	04/03/19
morningstarpublishing.com	04/03/19



Sworn to the subscribed before me this 4th April 2019

Tina M Crown

Notary Public, State of Michigan
Acting In Oakland County

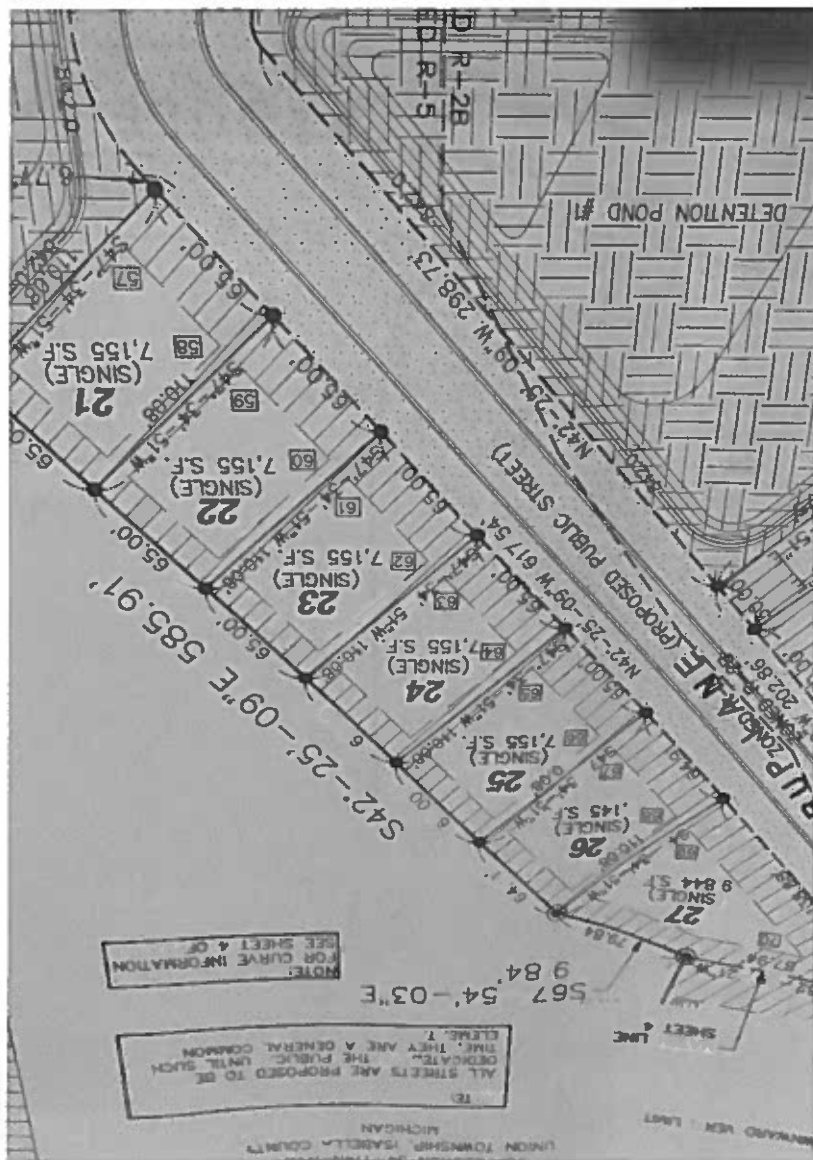
Advertisement Information

Client Id: 531226

Ad Id: 1778554

PO:

Sales Person: 200308



Julie Recker

G. List names and address of property owners lying within 300 feet of the property to be rezoned.

Jeremy T and Amy Bond 5133 Stirrup Lane

Megan Rohrossen and Benjamin Harrison 5103 Stirrup Lane

Kevin & Samantha Miller 5126 Stirrup Lane



Peter Gallinat, Township Planner
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Phone 989-772-4600 Ext. 241
Fax 989-773-1988

TO: Planning Commission
FROM: Township Planner

New Business

SUBJECT: B) SPA 2019-01 McDonalds 1963 E. Remus Rd (amend SPR 2019-02)

Applicant: Dorchen/Martin Associates (owner representative)

Owner: McDonalds USA LLC

Location: 1963 E. Remus Rd. MT PLEASANT, MI 48858

Current Zoning: B-5 (Highway Business District)

Adjacent Zoning: B-5

Future Land Use/Intent: Retail Service: This district is intended for the widest variety of retail and service businesses. They could range from apparel shops, auto service, and restaurants through small commercial strip centers and office buildings. This district is not intended for heavy commercial/light industrial uses like landscaping or contractor yards, heavy auto repair, or similar uses that may require some form of outside storage. Locations for this district are based on arterial road frontage and the need for high traffic volumes with convenient, well-managed access.

Current Use: Current existing digital printing business.

Reason for Request: remove 3 existing parking stalls, re-configured sidewalk, Provisional relief from construction of sidewalk along Remus Rd.

History: Applicant had site plan SPR 2019-02 reviewed and approved in March 2019 on the condition that plan is reviewed and approved for storm water management by the Isabella County Drain office.

Objective of board: Final site plan was received 14 days (04-02-2019) before our regular scheduled meeting for April 16, 2019. The Planning Commission shall study the site plan and shall, within sixty days of its submittal to the Zoning Official, either approve or disapprove the proposed site plan. If the site plan is disapproved, the reasons for disapproval shall be stated

Recommendation from Township Planner

Removing the 3 parking spots would not lower the count below the minimum required. The sidewalk along a Remus Rd has been reconfigured from what was shown in March for diametric purposes. Despite less than 50% of parcels on the north side of section 20 I would still recommend sidewalks constructed.

Peter Gallinat
Township Planner



Union Township Site Plan Review Application 2015 Revision

FILL OUT THE FOLLOWING

- I. This application is for (circle one) Revised Final Site Plan Review
- II. Applicant Name Dorchen/Martin Associates, Inc. (Frank Z. Martin, AIA)
29895 Greenfield Rd, Suite 107, Southfield, MI 48076
- III. Applicant Address 29895 Greenfield Rd, Suite 107, Southfield, MI 48076
- IV. Applicant Phone 248.557.1062 Owner Phone 989.323.0919
- V. Applicant is (circle) ~~Contractor~~ ~~Architect/Engineer~~ ~~Developer~~ ~~Land Owner~~ (skip V& VI) Other
- VI. Land Owner Name McDonald's USA LLC
- VII. Land Owner Address 1021 Karl Greimel Drive, #200, Brighton, MI 48116
- VIII. Project/Business Name McDonald's Restaurant 1963 E. Remus Road
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area. For the first three items, check off if you have made the required submittals to other reviewing agencies.

SUBMITTALS TO OTHER AGENCIES		
	Off	
Storm water management plan approval prior to application. Reviewed by the County Engineer	Ex'g	Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional.
All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application.	Ex'g	MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies.
Mt. Pleasant Fire Dept.	Yes	Sgt Randy Keeler (989) 779-5122, (2) copies
Isabella Co Transportation Commission (ICTC)	yes	Rick (989) 773 2913, (2) copies
WELLHEAD PROTECTION REPORTING FORMS (Required for all Site Plans)		
Hazardous Substances Reporting Form Part I and II (Forms included in this packet)	N/A	Kim Smith (989) 772-4600 ext 224 ksmith@uniontownshipmi.com
PERMIT INFORMATION - DEQ Check List		
SITE PLAN REQUIREMENTS		
	I Of	Comments - (also indicate any features which will not be included in the development or are not applicable)
Name and addresses of Property Owner	X	
Name and Address of Applicant	X	
Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided)	X	

Union Township Site Plan Review Application 2015 Revision

The date, north arrow and scale. The scale shall be not less than 1"= 20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.	x	
All lot and/or property lines are to be shown and dimensioned, including building setback lines	x	Building is existing an no additons are proposed
The location and dimensions of all existing and proposed: fire hydrants (within 400 feet of building) - - - -	x	
drives, -----	x	
sidewalks, (required) -----	x	
curb openings, -----	x	
acceleration/deceleration lanes, -----	x	
signs, -----	x	
exterior lighting on buildings and parking lots, - -	x	
parking areas (Including handicapped parking spaces, barrier-free building access, unloading areas), -----		
recreation areas, -----		
common use areas, -----		
areas to be conveyed for public use and purpose. -		
Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation	x	
Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application.	x	Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department
All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)	x	
The location and right-of-way width of all abutting roads, streets, alleys and easements.	x	
A locational sketch drawn to scale giving the section number and the nearest crossroads.	x	

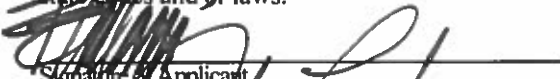
Union Township Site Plan Review Application 2015 Revision

The zoning of the subject property and the abutting properties.	X	
The location, height and type of fences and walls.		
The location and detailed description of landscaping.		
For multiple family and mobile home parks, contour intervals shall be shown (two foot intervals for average slopes ten percent and under and five foot intervals for slopes over ten percent). Topography, however, is encouraged to be shown on all site plans.	N/A	
The location of all existing and proposed structures on and within one hundred feet of the subject property's boundary.		
For apartments, provide a count of bedrooms per building and total count of bedrooms for the project.		


APPLICANT COMMENTS

Union Township Site Plan Review Application 2015 Revision

I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission . False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and of laws.



Signature of Applicant



Signature of Owner (if other than applicant)

3.22.19
Date

3.22.19
Date

PLEASE PLACE OUR REVIEW ON THE _____ (INSERT DATE)
PLANNING COMMISSION MEETING. An owners representative WILL / WILL NOT attend. You will not receive a reminder of the scheduled meeting.

Union Township Site Plan Review Application 2015 Revision

<u>Township use</u>	Review Comments
File # _____	_____
Fee Paid initial _____	_____
Receipt # _____	_____
Date received _____	_____
Date review completed by Zoning Administrator _____	
Place on the _____ Planning Commission Agenda	
Planning Commission Decision _____	_____

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: McDonald's Restaurant

Name of business owner(s): McDonald's USA LLC
Jim Molyneux, Owner/Operator

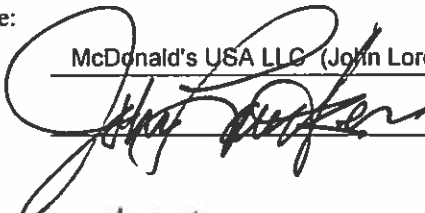
Street and mailing address: 1963 E. Remus Rd
Mt. Pleasant, MI 48858


Telephone: _____

Fax: 989.773.1014

Email: james.molyneux@partners.mcd.com

I affirm that the information submitted is accurate.

Owner(s) signature and date: McDonald's USA LLC (John Lorentzen, ACM)


Information compiled by: Douglas Martin Associates, Inc. (Frank Z. Martin, AIA)


Part 1: Management of Hazardous Substances and Polluting Materials

1. Y(N) Will the proposed facility store, use or generate hazardous substances or polluting materials (including petroleum-based products) now or in the future? If yes, please complete this form and submit with your site plan. A catalogue and map of natural resources on and near the site, including an assessment of groundwater vulnerability is required to be submitted with your plan.
2. Y(N) ~~Will the facility~~
on-site?
3. Y(N) Will any hazardous substances or polluting materials be stored on-site? If yes, identify the storage location on the site plan. Describe the size and type of secondary containment structure here or on an attached page. Submit a map and/or diagram of facilities on the site related to groundwater protection, including secondary containment structures, loading/unloading areas, drinking water wells, septic systems, underground storage tanks and storm drain inlets.
4. Y(N) Will the new underground storage tanks be located less than 2000 feet from a drinking water well serving more than a single household?
5. Y(N) Are existing underground storage tanks on-site less than 200 feet from a drinking water well serving more than a single household?
- If the answer to questions 4 or 5 are yes, you may be in violation of the State of Michigan underground storage tank regulations . For specific requirements, please contact the MDEQ Underground Storage Tank Division. District Office Telephone: 989-894-6200 (Saginaw Bay District Office)
6. Y(N) Will the interior of the facility have general purpose floor drains? (general purpose floor drains should not be connected to a sanitary sewer system, stormwater drainage system, dry well or septic system). If yes, will the floor drain connect to: (circle one)
- a. on-site holding tank
b. on-site system
- The on-site system must be approved by the MDEQ.
Contact: MDEQ Waste Management Division.
District Office telephone: 989-894-6200 (Saginaw Bay District Office)
7. Y(N) Will hazardous substances or polluting materials be stored, used, or handled out-of doors near storm drains which discharge to lakes, streams, or wetlands? If yes, describe the type of catch basin or spill containment facilities which will be used (use an attached sheet with diagram if appropriate).

cc: Charter Township of Union Department of Public Works

Part II: Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on-site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

Common Name	CHEMICAL NAME (components)	Form	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
KEY:				
LQ = liquid P.LQ = pressurized liquid S = solids G = gas PG = pressurized gas				
		KEY:		
		AGT = above ground tank = drums DIM = underground tank UGT = underground tank Cy = cylinders CM = metal cylinders CW = wooden or composition container TP = portable tank		



PERMIT INFORMATION

www.michigan.gov/deqpermits

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what DEQ permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: <http://www.michigan.gov/ehsguide>. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the DEQ programs noted below.

KEY QUESTIONS:	Yes <input type="checkbox"/>	No <input type="checkbox"/>	PROGRAM WEBPAGE AND CONTACTS
MISCELLANEOUS CONSTRUCTION			
<i>Air Quality Permit to Install:</i> Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Air Quality Division (AQD), <u>Permit Section</u>
<i>Asbestos Notification:</i> Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Asbestos Program</u>
<i>Land and Water Featured Programs (Water Resources Division) - USACE Consolidated Permits:</i> Please consult the <u>Land and Water Management Decision Tree</u> document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?).	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Water Resources Division (WRD), <u>Joint Permit Application</u>
<i>Soil Erosion and Sedimentation Control:</i> Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Soil Erosion and Construction Storm Water</u> , or Contact your <u>Local Agency</u>
<i>NPDES Storm Water Discharge from Construction Sites Notice of Coverage:</i> Does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	NPDES <u>Storm Water Permits Program</u> , or appropriate <u>DEQ District Office</u>
<i>Public Swimming Pool Construction (Spas/Hot Tubs) Permits:</i> Will your business involve the construction or modification of a public swimming pool, spa or hot tub?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Public Swimming Pool Program</u> , or appropriate <u>DEQ District Office</u>
<i>Threatened and Endangered Species:</i> Does the project involve activities that would destroy a protected species of plant or animal or disturb a protected animal species?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Endangered Species Assessment, Threatened and Endangered Species Program</u> , 517-373-1552
Does the project involve <i>construction</i> or alteration of any <i>sewage collection or treatment</i> facility?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Appropriate <u>District Office</u> , WRD, Part 41 Construction Permit Program
Does the project involve construction of a facility that landfills, transfers, or processes of any type of <i>solid non-hazardous waste</i> on-site, or places <i>industrial residuals/sludge</i> into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Waste Management and Radiological Protection (OWMRP), <u>Solid Waste</u> , Appropriate <u>DEQ District Office</u>
Does the project involve the construction of an on-site treatment, storage, or disposal facility for <i>hazardous waste</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Hazardous Waste Section, <u>Treatment, Storage and Disposal</u>
WATER SUPPLY (More information, see: http://www.michigan.gov/deqwater, select "drinking water")			
I am buying water from my community water supply (i.e. city of Detroit or Grand Rapids)	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	Contact your <u>Local Water Utility</u>
I have a private or other water supply well (Type III)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact your (District or County) <u>Local Health Department</u>
I have a Non-Community Water Supply (Type II)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Guide</u> , Contact your (District or County) <u>Local Health Department</u>
I am a community water supply (Type I)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Community Water Supply</u> , <u>DEQ District Office Community Water Supply Program</u>

WASTEWATER MANAGEMENT			
<i>Storm Water Discharge to Wetlands:</i> Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Great Lakes:</i> Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Inland Lakes and Streams:</i> Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes:</i> Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year <i>floodplain</i> of a watercourse?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve construction of a building or septic system in a designated Great Lakes <i>high risk erosion area</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated <i>environmental area</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated <i>critical dune area</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Sand Dune Management</u>
Does the project involve construction of a <i>dam</i> , weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Dam Safety Program</u>
CONSTRUCTION PERMITS (SECTOR SPECIFIC)			
Does the project involve the construction or alteration of a water supply system or sewage disposal system for a manufactured housing project?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Office of Drinking Water & Municipal Assistance (ODWMA)</u>
Does the project involve a subdivision or site condominium project utilizing individual on-site subsurface disposal systems or individual wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>ODWMA</u>
Does the project involve the construction or modification of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds program</u>
Does the project involve the construction or modification of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Swimming pools program</u>
OPERATIONAL PERMITS			
Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Permit Section</u>
NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Appropriate DEQ District Office, or National Pollutant Discharge Elimination (NPDES) Permit Program</u>
Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Permits Section, or appropriate DEQ District Office</u>
Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Groundwater Permits Program</u>
Does the project involve the drilling or deepening of wells for waste disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Office of Oil, Gas and Minerals (OOGM)</u>
Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>OWMRP or Appropriate DEQ District Office</u>

Does the project involve the on-site treatment, storage, or disposal of hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Hazardous and Liquid Waste</u>
Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (<u>Web Site</u>)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Appropriate <u>DEQ District Office</u>
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Material and Standards Unit</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP <u>Radioactive Material and Standards Unit</u>
Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, DWEHS, <u>Source Water Protection Unit</u>
CHEMICAL ADDITION PROJECTS			
Are you using chemicals or materials in, or in contact with, drinking water at any point in the water works system?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office, Public Water Supply Program</u>
Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (5.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Aquatic Nuisance Control</u> and Remedial Action Unit
Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Surface Water Assessment Section</u>
OPERATIONAL PERMITS (SECTOR SPECIFIC)			
Does the project involve the transport of some other facility's non-hazardous liquid waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does the project involve the transport hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Acid Rain Permit Program</u>
Is the project a dry cleaning establishment utilizing perchloroethylene or a flammable solvent in the cleaning process?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, AQD, <u>Dry Cleaning Program</u>
Does your laboratory test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, <u>Laboratory Services Certifications</u>
Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Medical Waste Regulatory Program</u>
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Septage Program</u>
Do you store, haul, shred or process scrap tires?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Scrap Tire Program</u>
Does the project involve the operation of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Public Swimming Pools Program</u>
Does the project involve the operation of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds</u>
Do you engage in the business of hauling bulk water for drinking or household purposes (except for your own household use)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Water Hauler Information</u>
PERSONAL LICENSES/CERTIFICATIONS			
Are you designated by your facility to be the Certified Operator to fulfill the requirements of a wastewater discharge permit (NPDES including Storm	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Operator Training, Storm Water Program</u>

Water or Groundwater)?		
Are you a drinking water operator in charge of a water treatment or water distribution system, back-up operator, or shift operator?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Operator Training</u>
Are you a water-well drilling contractor, pump installer, dewatering well contractor or dewatering well pump installer?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Well Construction Unit</u>
OIL, GAS AND MINERALS		
Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Petroleum Geology and Production Unit</u>
Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u>
Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve mining coal?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Do you want to change the status of an oil or gas well (i.e. plug the well)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve drilling of oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve plugging or deepening of an oil or gas well, or conveying rights in the well as an owner to another person?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOWMRP, <u>Radioactive Protection Programs</u>
STORAGE TANKS (CONSTRUCTION AND OPERATION)		
Does the project involve the installation of an aboveground storage tank for a flammable or combustible liquid (under 200 degrees Fahrenheit)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Michigan Department of Licensing and Regulatory Affairs (DLARA) - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a compressed natural gas dispensing station with storage?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a liquefied petroleum gas container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation, removal, or upgrade of an underground storage tank containing a petroleum product or a hazardous substance?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a hydrogen system?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>



Dorchen/Martin Associates, Inc.
Architects/Planners

29895 Greenfield Road Suite 107
Southfield, Michigan 48076
248.557.1062
Fax: 248.557.1231
Cell: 248.224.3714
E-mail: fmartin@dorchenmartin.com
<http://www.dorchenmartin.com/>

March 20, 2019

Mr. Peter Gallinat, Planner
Charter Township of Union
2010 S. Lincoln
Mt. Pleasant, MI 48858

Re: McDonald's Renovations
1963 E Remus Road
D/MA File No: 18034P

Dear Peter:

McDonald's asks to be placed on the next Planning Commission agenda to consider the Granting of Relief of Sidewalk Construction along Remus Road in front of their restaurant along with eliminating (3) three parking spaces to provide a net increase of 135 sf of landscape/pervious area, thus compensating for the added impervious area resulting from the Drive-thru modifications.

There are several reasons for the Sidewalk Relief request:

1. Per Section II. Criteria for Granting Relief of Sidewalk Construction, parcels not identified on a designated street may be granted provisional relief of sidewalk construction if any of the following apply:
 - a. In our case, **Item 4**, requiring that on corner lots, as is ours, one mile to the west along Remus in Section 17 must have less than 50% sidewalks in place – this is truly the case since there are only two developments that have sidewalks in the ROW.
 - b. We meet this criterion for relief.
2. In addition to meeting the criteria above, the topography, existing drainage swales, spillways, guy wires and telephone pedestals pose unique challenges for sidewalk construction in this area of Remus.

Therefore, McDonald's requests relief of sidewalk construction along Remus Road.

Attached please find (10) ten 11" x 17" copies of Site Plan Sheet C1, Site Grading Plan C2 and C2a SBS Coordinate Plan along with several photos of existing conditions in the Remus ROW in addition to aerial photo identifying existing sidewalks along Remus west of our site.

Sincerely,

Frank Z. Martin, AIA, NCARB
Dorchen/Martin Associates, Inc.

FZM/

Untitled Map

Write a description for your map.

Legend



Google Earth

©2019 Google
©2018 Google

7.50 ft



Untitled Map

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Legend

Feature 1



Google Earth

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©2019 Google



6.03 ft



Untitled Map

Write a description for your map.

Legend

-  1983 E Remus Rd
-  McDonald's



Google Earth

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7.37 ft

Untitled Map

Write a description for your map.

Legend



Google Earth

©2018 Google
©2018 Google



5.25 ft

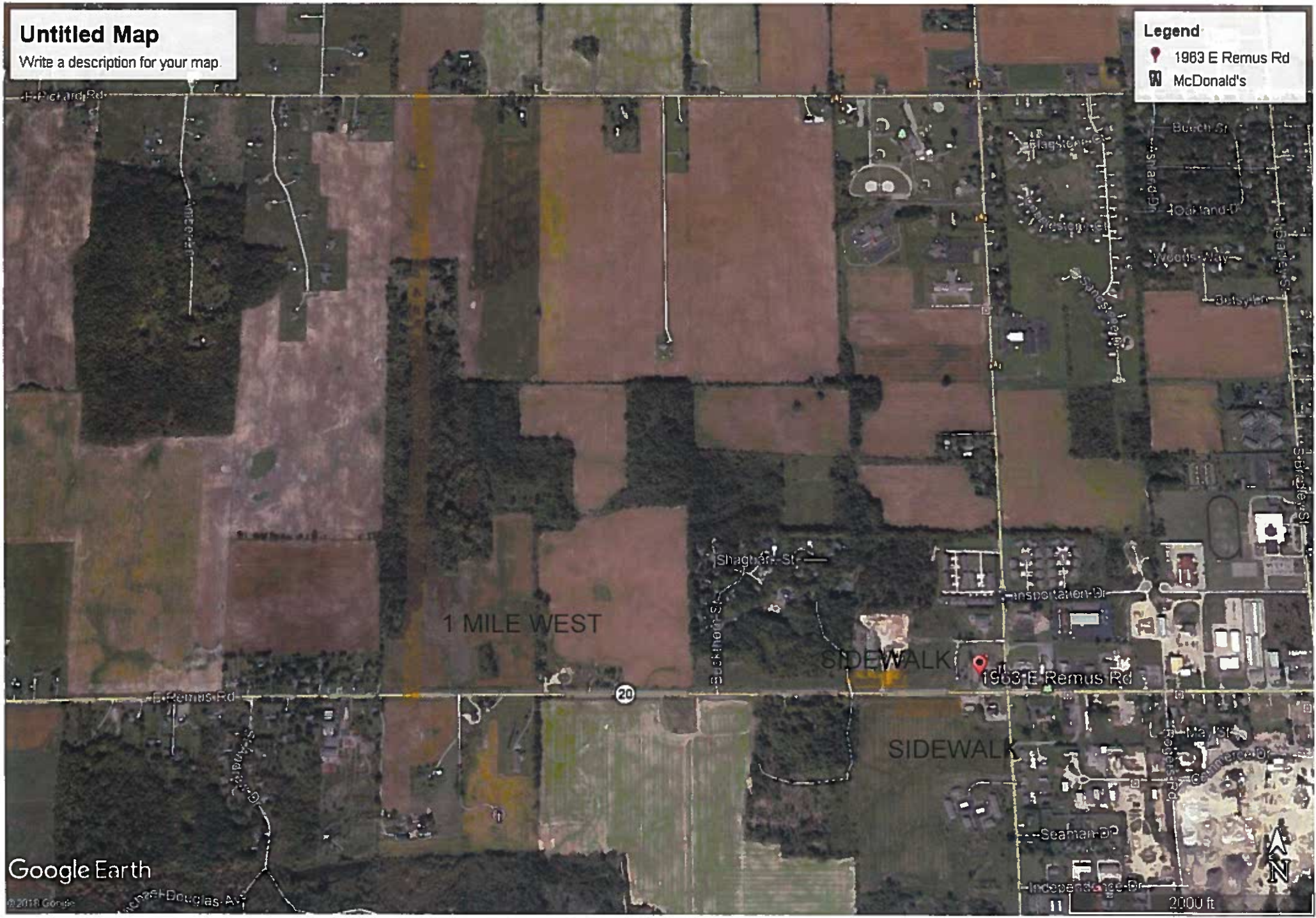


Untitled Map

Write a description for your map

Legend

-  1983 E Remus Rd
-  McDonald's



Google Earth

© 2018 Google

Untitled Map

Write a description for your map.

Legend



Google Earth

© 2018 Google
© 2018 Google

7.77 ft





Peter Gallinat, Township Planner
pgallinat@uniontownshipmi.com
2010 South Lincoln
Mt. Pleasant, MI 48858
Phone 989-772-4600 Ext. 241
Fax 989-773-1988

TO: Planning Commission
FROM: Township Planner

New Business

SUBJECT: C) REZ 2019-03 Rosewood Dr PID 14-014-20-038-01.

Applicant: CMS&D (owner representative)

Owner: Rosewood Development Co. LLC.

Location: PID 14-014-20-038-01 Rosewood Dr. MT PLEASANT, MI 48858

Current Zoning: R-3A (Multiple family Residential District)

Adjacent Zoning: R-3A, B-4, R-2A, OS.

Future Land Use/Intent: Residential Attached: This land use category covers a variety of attached dwelling units and includes areas planned for both medium- and high-density residential development including duplexes, attached condominiums, townhomes, and flats.

Current Use: Vacant property

Reason for Request: If rezoned from R-3A to OS the parcel is proposed for a medical office use.

History: Parcel is a part of approved Rosewood development recently amended by the Township in 2016.

Objective of board: The Planning Commission shall submit the proposed amendment, along with its recommendation, to the Township Board for consideration within sixty (60) days from the conclusion of the public hearing.

Recommendation from Township Planner

The FLU map would not support this rezone as it is planned for residential attached. However, the OS district does allow by special use one- and two-family dwellings. The two-family dwellings (duplexes) would fit with the Residential Attached FLU map designation. Careful consideration of hours of operation, lighting, traffic, screening and other issues should be considered to respect of the residential living to the west. This is a rezone request, the PC may NOT place any conditions on its recommendation to the Board of Trustees.

Peter Gallinat
Township Planner



APPLICATION FOR ZONING CHANGE
CHARTER TOWNSHIP OF UNION
ISABELLA COUNTY, MICHIGAN

APPLICATION NO. _____

DATE 3/26/19

A. I (WE) ROSEWOOD DEVELOPMENT CO LLC

Address P.O. BOX 982, MT. PLEASANT, MI 48804

Phone 989506-1168

hereby file an application with the Township Clerk's office to:

- 1. Add to or change the text of the Zoning Ordinance.
- 2. Change the district boundaries.
- 3. Re-zone the property from R-3A
zoning classification to OS
zoning classification.

B. If this application is for a text amendment please describe in detail what you would like to change. Give section numbers and proposed changes, standards, and procedures.

N/A

C. If this application is for the re-zoning of property please provide a complete legal description.

SEE ATTACHED

D. If this application is for re-zoning please provide a complete common description. (address, cross roads, etc.)

SOUTHEAST CORNER OF ROSEWOOD DRIVE AND CROSSLANES ST

E. Please provide reasons for requesting text amendment or zoning change and include intended use of any land, buildings, or structures.

Proposed Medical Facility

F. Please provide a site plan for any property to be re-zoned following the requirements outlined in Section 12 of the Union Township Zoning Ordinance 1991-5.

G. List names and addresses of property owners lying within 300 feet of the property to be re-zoned. (use separate sheet)

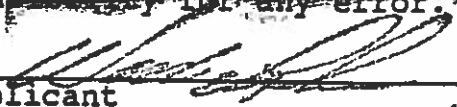
H. List all or any easements or right-of-ways which have been granted said properties herein described.

SEE ATTACHED

CERTIFICATION:

I (WE) hereby certify that the afore information is accurate and assume responsibility for any error.

SIGNED:


Applicant _____ Date _____

Applicant _____ Date _____

Applicant _____ Date _____

** FOR OFFICE USE ONLY **

Date application referred to Planning Commission _____

Date public hearing notice published _____

Date public hearing notice mailed _____

Planning Commission Action. ___ Adopted ___ Denied Date _____

Date referred to County Planning Commission _____

Township Board Action ___ Adopted ___ Denied Date _____

Remarks: _____

FEE _____

RECEIPT NO. _____

REZONING PARCEL LEGAL DESCRIPTION:

A PARCEL OF LAND IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 14, T.14 N-R.4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE N.87°-57'-53"W., ON AND ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION, 934.22 FEET; THENCE N.00°-23'-13"E., 283.02 FEET TO THE POINT OF BEGINNING; THENCE N.00°-23'-13"E., 61.75 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 302.00 FEET; THENCE NORTHEASTERLY ALONG SAID ARC, 145.05 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 233.00 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-08'-49"E., 143.66 FEET, TO SAID POINT OF REVERSE CURVATURE; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE 111.79 FEET TO THE POINT OF TANGENCY SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-09'-42"E., 110.72 FEET TO SAID POINT OF TANGENCY; THENCE N.00°-24'-59"E., 402.58 FEET TO A POINT OF CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 233.00 FEET; THENCE NORTHWESTERLY ALONG SAID ARC, 122.48 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 167.00 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-38'-33"W., 121.07 FEET TO SAID POINT OF REVERSE CURVATURE; THENCE NORTHWESTERLY ALONG SAID ARC, 87.78 FEET TO THE POINT OF TANGENCY, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-38'-33"W., 86.78 FEET TO SAID POINT OF TANGENCY; THENCE N.00°-24'-59"E., 97.02 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CROSSLANES STREET; THENCE S.87°-18'-19"E., ON AND ALONG SAID SOUTHERLY RIGHT OF WAY LINE 432.70 FEET; THENCE S.00°-24'-18"W., 1004.39 FEET; THENCE N.87°-57'-53"W., PARALLEL WITH SAID EAST AND WEST 1/4 LINE, 439.11 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 9.25 ACRES OF LAND, SUBJECT TO AND TOGETHER WITH ANY EASEMENTS, RIGHTS OF WAY, OR RESTRICTIONS OF RECORD.

Property Owners List:

**Mt. Pleasant School District
201 S. University St.
Mt. Pleasant, MI 48858**

**EMO Investment LLC
941 W. Broomfield
Mt. Pleasant, MI 48858**

**Isabella Community Credit Union
P.O. Box 427
Mt. Pleasant, MI 48804**

**D & D Real Estate Investments LLC
5770 Carriage Lane
Mt. Pleasant, MI 48858**

**Cynthia Varner
4921 E. Broadway
Mt. Pleasant, MI 48858**

**Michael Zygmunt
4911 E. Broadway
Mt. Pleasant, MI 48858**

**CMHT Land Holdings LLC
2479 Rosewood Dr. Ste A
Mt. Pleasant, MI 48858**

**SAI At Broadway LLC
906 Bentgrass
Mt. Pleasant, MI 48858**

**Lynn & Valerie Wolters
4795 E. Broadway
Mt. Pleasant, MI 48858**

**John & Mary Olinger
2446 Roswood Drive
Mt. Pleasant, MI 48858**

**Marian Schneider
2442 Roswood Drive
Mt. Pleasant, MI 48858**

**John & Catherine Shell Trust
2438 Roswood Drive
Mt. Pleasant, MI 48858**

**Mary Ann Tuma Revocable Trust
2434 Roswood Drive
Mt. Pleasant, MI 48858**

**Shirley Cassel Trust
547 W. Bluegrass Rd
Mt. Pleasant, MI 48858**

Amy Jo Miller Sission
2430 Rosewood Dr. Apt B
Mt. Pleasant, MI 48858

Brian Rogers
2430 Rosewood Dr. #7
Mt. Pleasant, MI 48858

Linda Callison Trust
2430 Rosewood Dr. Unit D
Mt. Pleasant, MI 48858

David & Jennifer Klemm
2428 Rosewood Dr.
Mt. Pleasant, MI 48858

Robert & Marie Lippert Trust
2422 Rosewood Dr. Unit 10
Mt. Pleasant, MI 48858

Juhasz Trust
2416 Rosewood Dr.
Mt. Pleasant, MI 48858

Ora & June Stalter
2412 Rosewood Dr.
Mt. Pleasant, MI 48858

William & Carol Griffin
2406 Rosewood Dr.
Mt. Pleasant, MI 48858

Steve Lemke Rev Living Trust
2402 Rosewood Dr.
Mt. Pleasant, MI 48858

Wendell & Mary White
2394 Rosewood Dr.
Mt. Pleasant, MI 48858

Herbert & Shirley
2382 Rosewood Dr.
Mt. Pleasant, MI 48858

Carol Lambertson
2372 Rosewood Dr.
Mt. Pleasant, MI 48858

Janet Joslin Trust
2364 Rosewood Dr.
Mt. Pleasant, MI 48858

Glenna Beard Living Trust
2356 Rosewood Dr.
Mt. Pleasant, MI 48858

Norbert & Susan Miller
2352 Rosewood Dr.
Mt. Pleasant, MI 48858

Phyllis Ahlers
2312 Rosewood Dr
Mt. Pleasant, MI 48858

Charles & Suzanne Vannorsdall
2436 Rosewood Dr.
Mt. Pleasant, MI 48858

James & Marilyn Bidwell Trust
2346 Rosewood Dr. B
Mt. Pleasant, MI 48858

Karla Marie Cooper
2338 Rosewood Dr.
Mt. Pleasant, MI 48858

Mary Ann Paisley Rev Trust
2334 Rosewood Dr.
Mt. Pleasant, MI 48858

Lynn & Linda Smith
4689 Lee Hill Rd
Mayville, MI 48744

Marvin & Erin Bleiberg
7292 Hiddenbrook Ln
Bloomfield Hills, MI 48301

AFFIDAVIT OF PUBLICATION

2125 Butterfield Dr, Suite 102N • Troy MI 48084

CHARTER TOWNSHIP OF UNION
2010 S Lincoln

Mount Pleasant, MI 48858
Attention: PETER GALLINAT

STATE OF MICHIGAN,
COUNTY OF ISABELLA

The undersigned Cyndy Slater Cyndy Slater, being duly sworn the he/she is the principal clerk of Morning Sun, morningstarpublishing.com, published in the English language for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

CHARTER TOWNSHIP OF UNION

Published in the following edition(s):

Morning Sun	04/03/19
morningstarpublishing.com	04/03/19



Sworn to the subscribed before me this 4th April 2019

Tina M Crown

Notary Public, State of Michigan
Acting In Oakland County

Advertisement Information

Client Id: 531226

Ad Id: 1778544

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UNION TOWNSHIP PUBLIC HEARING NOTICE-REZONING

NOTICE is hereby given that a Public Hearing will be held on Tuesday, April 16, 2019, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following request for rezoning of an eastern portion of property from R-3A (Multiple Family Residential District) to OS (Office Service District) as allowed by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by Rosewood Development Co LLC A rezoning of R-3A (Multiple Family Residential District) to OS (Office Service District).

Legal Description of property: T14N R4W, SEC 14; P/O W 25 A OF SE 1/4 OF NE 1/4 SEC 14; COM N 87D 57M 53S W, 920.2 FT ALG E-W 1/4 LN FROM E 1/4 COR; TH N 87D 57M 53S W, 80 FT; TH N 0D 24M 27S E, 283 FT; TH N 87D 57M 53S W, 317.2 FT; TH N 1D 6M 16S E, 1013.17 FT; TH S 87D 19M 15S E, 810.39 FT; TH S 0D 24M 27S W, 1004.33 FT; TH N 87D 57M 53S W, 425 FT; TH S 0D 24M 27S W, 283 FT TO POB
8/11/04 FROM 14-20-038-01 PLATTED UNIT 1-14, ROSEWOOD NORTH CONDOS; 14-612-00-001-00 THRU -014-00 06/22/99 SPLIT 038-00 CHILD 038-02, 038-03, 038-04 RESIDUAL 038-01 4/22/05 FROM 014-020-038-01 PLATTED UNIT 612-00-015-00-034-00 ROSEWOOD NORTH PHASE II 3/31/06 REMOVED 6.50/AC FROM RESIDUAL FOR PHASE ONE AND TWO NOT ADJUSTED IN 05 FOR PHASE I RESIDUAL 038-01

This property is located at Rosewood Dr. MOUNT PLEASANT, MI 48858
PID 14-014-20-038-01

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,
Township Planner

Published: April 1, 2019

Kurt E. Feight
3213 Brittany Drive
Mt. Pleasant, MI 48858
W 989-772-2977
C 989-560-1120
kurt@mtpleasantagency.com



April 5, 2019

Union Township
Peter Galliant, Planner
2010 S. Lincoln Road
Mt. Pleasant, MI 48858

Regarding: Notice of Public Hearing
Rosewood Development Co LLC
Rezoning of R-3A to OS

Mr. Peter Gallinat,

We are property owners located within the boundary and area of the request to
rezone from R-3A to OS use.

We have no objection to the requested change and best use of the subject property.

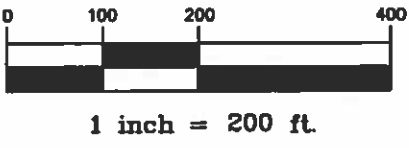
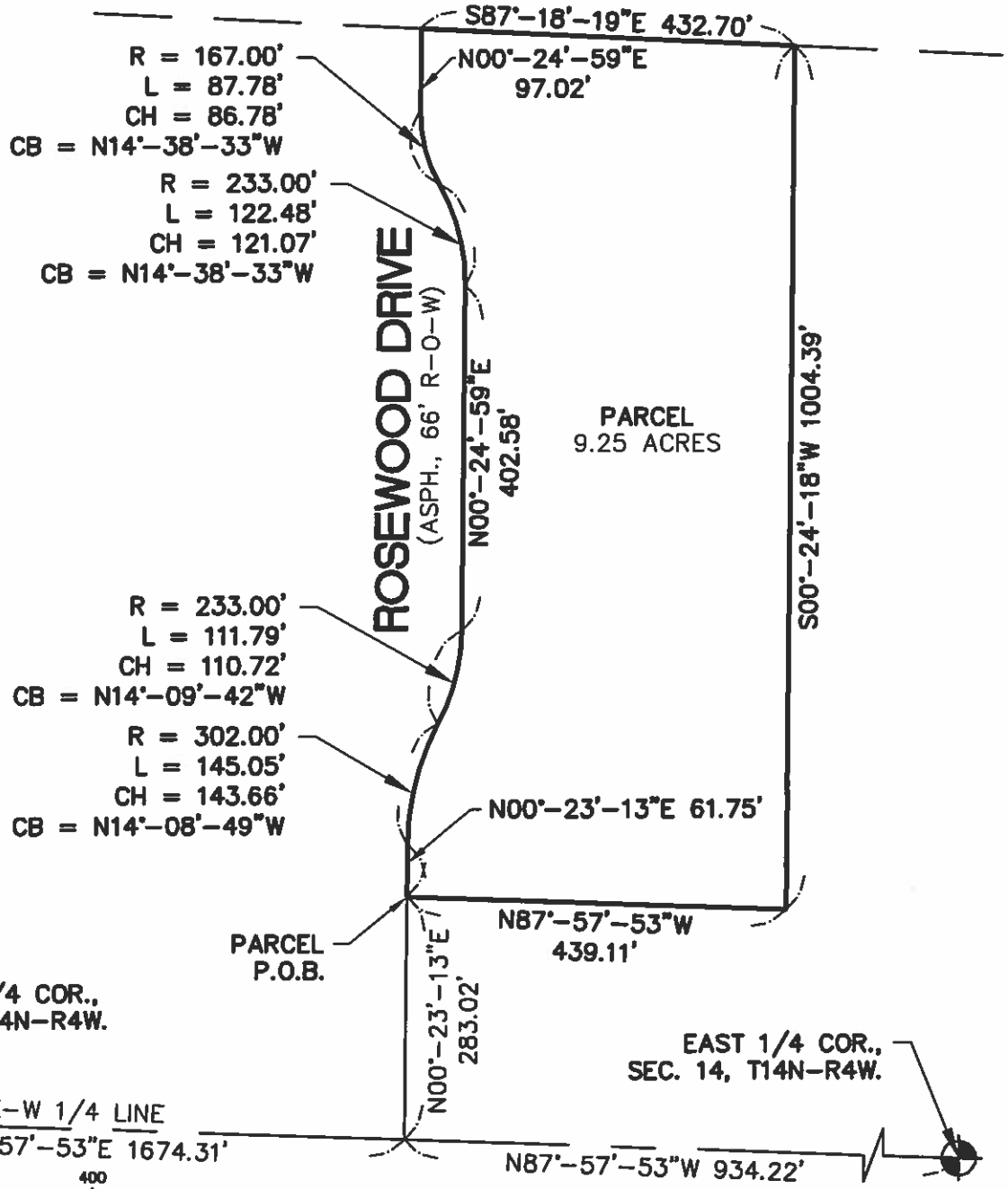
Sincerely,

A handwritten signature in black ink, appearing to read "Kurt E. Feight". The signature is stylized and cursive.


Kurt E. Feight

SKETCH / DESCRIPTION
ROSEWOOD DEVELOPMENT COMPANY, LLC
 PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF
 SECTION 14, T14N-R4W
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

CROSSLANES STREET
 (ASPH., 66' R-O-W)



R - RECORDED	○ - FOUND IRON	⊕ - SECTION CORNER
M - MEASURED	● - SET IRON	⊙ - 1/8 CORNER
□ - SET WOOD STAKE	⊗ - CONCRETE MONUMENT	

 <p align="center">CMS & D SURVEYING / ENGINEERING 510 W. PICKARD STREET, SUITE C MT. PLEASANT, MICHIGAN 48858 PHONE: (989) 775-0756 FAX: (989) 775-5012 EMAIL: info@cms-d.com</p>	SCALE: 1" = 200'	DRAWN BY: WRE
	SURVEY DATE: -	CHECKED BY: TELB
	DATE: 3-21-19	JOB NUMBER: 1903-019
	REVISED:	SHEET NUMBER: 1 OF 4

SKETCH / DESCRIPTION
ROSEWOOD DEVELOPMENT COMPANY, LLC

PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF
SECTION 14, T14N-R4W
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

PARCEL DECIPTION:

A PARCEL OF LAND IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 14, T.14 N-R.4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE N.87°-57'-53"W., ON AND ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION, 934.22 FEET; THENCE N.00°-23'-13"E., 283.02 FEET TO THE POINT OF BEGINNING; THENCE N.00°-23'-13"E., 61.75 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 302.00 FEET; THENCE NORTHEASTERLY ALONG SAID ARC, 145.05 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 233.00 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-08'-49"E., 143.66 FEET, TO SAID POINT OF REVERSE CURVATURE; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE 111.79 FEET TO THE POINT OF TANGENCY SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-09'-42"E., 110.72 FEET TO SAID POINT OF TANGENCY; THENCE N.00°-24'-59"E., 402.58 FEET TO A POINT OF CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 233.00 FEET; THENCE NORTHWESTERLY ALONG SAID ARC, 122.48 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 167.00 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-38'-33"W., 121.07 FEET TO SAID POINT OF REVERSE CURVATURE; THENCE NORTHWESTERLY ALONG SAID ARC, 87.78 FEET TO THE POINT OF TANGENCY, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-38'-33"W., 86.78 FEET TO SAID POINT OF TANGENCY; THENCE N.00°-24'-59"E., 97.02 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CROSSLANES STREET; THENCE S.87°-18'-19"E., ON AND ALONG SAID SOUTHERLY RIGHT OF WAY LINE 432.70 FEET; THENCE S.00°-24'-18"W., 1004.39 FEET; THENCE N.87°-57'-53"W., PARALLEL WITH SAID EAST AND WEST 1/4 LINE, 439.11 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 9.25 ACRES OF LAND, SUBJECT TO AND TOGETHER WITH ANY EASEMENTS, RIGHTS OF WAY, OR RESTRICTIONS OF RECORD.

R - RECORDED
M - MEASURED
□ - SET WOOD STAKE

○ - FOUND IRON
● - SET IRON
⊙ - CONCRETE MONUMENT

⊕ - SECTION CORNER
⊕ - 1/8 CORNER



CMS & D
SURVEYING / ENGINEERING
510 W. PICKARD STREET, SUITE C
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
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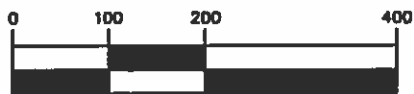
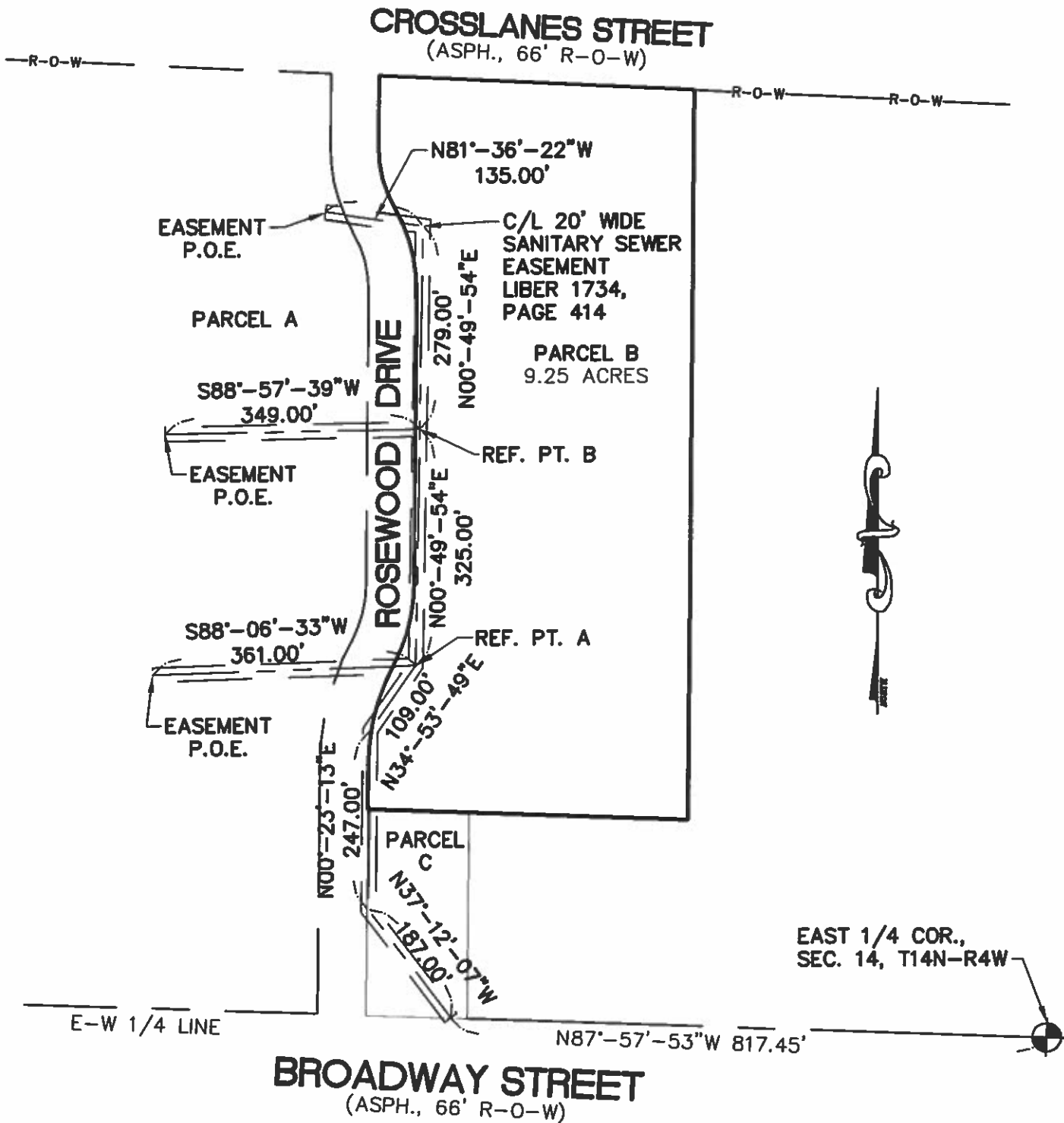
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SURVEY DATE: -	CHECKED BY: TELB
DATE: 3-21-19	JOB NUMBER: 1903-019
REVISED:	SHEET NUMBER: 2 OF 4

SKETCH / DESCRIPTION

PAGE 1 OF 2

ROSEWOOD NORTH I CONDOMINIUM SANITARY SEWER EASEMENT

PART OF THE SOUTH EAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 14, T14N-R4W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN



1 inch = 200 ft.

- R - RECORDED
- M - MEASURED
- - SET WOOD STAKE

- - FOUND IRON
- - SET IRON
- ⊙ - CONCRETE MONUMENT

- ⊕ - SECTION CORNER
- ⊕ - 1/8 CORNER



CMS & D

SURVEYING / ENGINEERING

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 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0756
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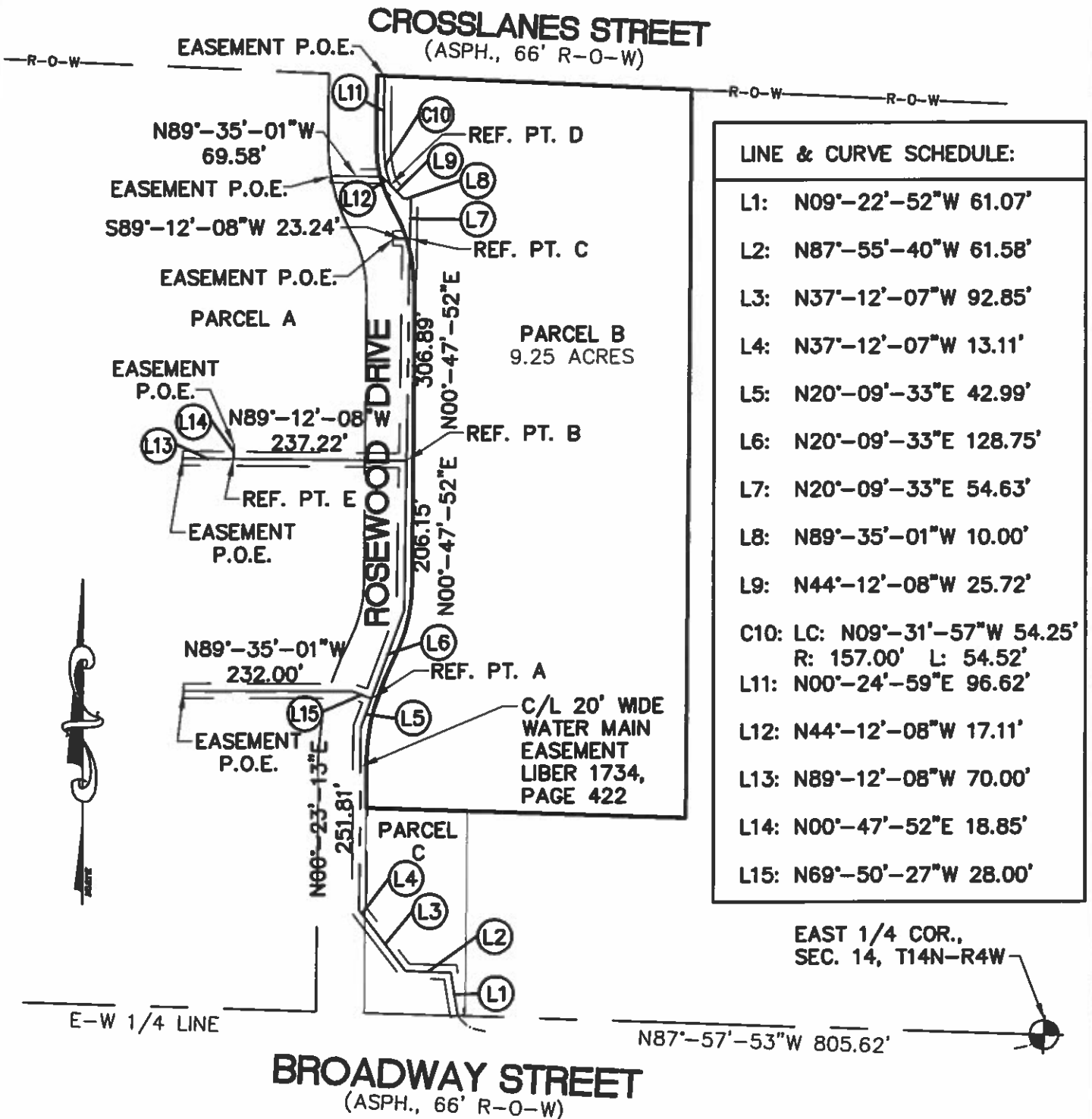
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SURVEY DATE: -	CHECKED BY: TELB
DATE: 3-21-19	JOB NUMBER: 1903-019
REVISED:	SHEET NUMBER: 3 OF 4

SKETCH / DESCRIPTION

PAGE 1 OF 2

ROSEWOOD NORTH I CONDOMINIUM WATER MAIN EASEMENT

PART OF THE SOUTH EAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 14, T14N-R4W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN



R - RECORDED
M - MEASURED
□ - SET WOOD STAKE

○ - FOUND IRON
● - SET IRON
⊙ - CONCRETE MONUMENT

⊕ - SECTION CORNER
⊙ - 1/8 CORNER



CMS & D

SURVEYING / ENGINEERING

510 W. PICKARD STREET, SUITE C
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com

SCALE: 1" = 200'	DRAWN BY: WRE
SURVEY DATE: -	CHECKED BY: TELB
DATE: 3-21-19	JOB NUMBER: 1903-019
REVISED:	SHEET NUMBER: 4 OF 4



Peter Gallinat, Township Planner
pgallinat@uniontownshipmi.com
2010 South Lincoln
Mt. Pleasant, MI 48858
Phone 989-772-4600 Ext. 241
Fax 989-773-1988

TO: Planning Commission
FROM: Township Planner

New Business

SUBJECT: D) SUP 2019-02 S. Lincoln Rd PID 14-020-20-001-05.

Applicant: CMS&D (owner representative)

Owner: McGuirk Mini Storage

Location: PID 14-02020-001-05 S. Lincoln Rd. MT PLEASANT, MI 48858

Current Zoning: R-3A (Multiple family Residential District) and B-5 (Highway Business District)

Adjacent Zoning: R-3A, B-5, R-1

Future Land Use/Intent: Rural Buffer: Rural Buffer areas generally do not have sewer and water, but are appropriate for agricultural, low density residential, and other uses allowed by zoning. Typically this buffer is located on the fringe between rural and more urbanized areas. Rezoning requests for more intensive uses should be limited, especially those requiring extended utility service.

Current Use: Vacant property

Reason for Request: Expansion of existing approved self-storage operation amending approved SUP.

History: 8.87 acres of the existing parcel was recently rezoned this year by the Township from R-3A to B-5. Intent for rezone was to seek approval of amended SUP to expand existing approved SUP for self-storage buildings. Finals site plan for project has been submitted. Outside agency approvals not yet obtained. Will review and approve in May 2019

Objective of board: Within a reasonable time following the public hearing, the Planning Commission shall review the application for the special use permit, testimony received at the public hearing, and other materials submitted in relation to the request and make a recommendation to the Township Board. Approving or denying the special use application shall be in accord with the criteria for approval stated in Section 30.3 and such other standards contained in this Ordinance that relate to the special uses under consideration.

Recommendation from Township Planner

The portion of this property rezoned was approved with the intent of this requested SUP expansion. Consideration of lighting and screening should be able to relieve any concerns from adjacent residential property. Location is far off from both Lincoln and Remus Rd. The operation would be hidden from passing by traffic.

Peter Gallinat
Township Planner

APPLICATION FOR A SPECIAL USE PERMIT

I (we) McGuirk Mini Storage, Inc. OWNERS OF PROPERTY AT
See Attached Sheet LEGAL DESCRIPTION AS FOLLOWS:

See Attached Sheet



Respectfully request that a determination be made by the Township Board on the following request:

- I. Special Use For Amendment of Special Use request for Self-Storage Buildings
- II. Junk Yard Permit

.....
Note: Use one of the sections below as appropriate. If space provided is inadequate, use a separate sheet.

I. Special Use Permit is requested for Amendment of Special Use request for Self-Storage Buildings previously approved; as an expansion of the previously approved S.U.P.

Give reason why you feel permit should be granted: See Attached Sheet

II. Junk Yard Permit requirements are:

Location of property to be used _____

Zoning of the area involved is B-5

Zoning of the abutting areas B-5 , R3-A and R-1

.....

Fees 350.00 Signature of Applicant *Samuel...*

Date _____

AMENDED SPECIAL USE REQUEST FOR SELF STORAGE STRUCTURES

LEGAL DESCRIPTION OF THE PROPOSED B-5 DEVELOPMENT PARCEL:

SPECIAL USE PROPERTY DESCRIPTION

A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N. - R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.00°-55'-57"E., ON AND ALONG THE EAST LINE OF SAID SECTION, 700.00 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH THE NORTH LINE OF SAID SECTION, 1327.12 FEET TO A POINT ON THE EAST 1/8 LINE OF SAID SECTION AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.00°-39'-12"E., ON AND ALONG SAID EAST 1/8 LINE, 622.35 FEET TO ITS INTERSECTION WITH THE NORTH 1/8 LINE OF SAID SECTION; THENCE S.89°-41'-58"W., ON AND ALONG SAID NORTH 1/8 LINE, 619.03 FEET; THENCE N.00°-55'-47"W., PARALLEL WITH SAID EAST SECTION LINE, 622.41 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 622.03 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 8.87 ACRES OF LAND AND SUBJECT TO AND TOGETHER WITH ANY EASMENTS AND/OR RESTRICTIONS OF RECORD.

Summary of Request

Self-Storage Units are a Special Use within the B-5 District. Based on previous submittal to the Township for this use, we have utilized the B-5 zoned property to place this use. The proposed amended Special Use area will be approximately 700 feet off Remus Road. The portion of the parcel proposed to be utilize is 8.87 acres and will house 13 buildings (225 x 40) 9,000 sq. ft. each with a total area 117,000 sq. ft. of storage units when fully developed. The parcels for the proposed Special Use expansion are directly south of the 5.5 acres in the current S.U.P.

Please consider the following:

The following standards are to be utilized in evaluating if the SUP amended permit should be granted:

1. **The special use shall be designed, constructed, operated, and maintained in a manner harmonious with the character of adjacent property and the surrounding area.**
 - The focus of the relevant analysis is on whether or not the project is in harmony with surrounding zoned uses. The proposed development sets on the South side of Remus Road (M-20) in a commercial area, but has been tucked back off the road by approximately 700 feet. The proposed expansion is on B-5 zoned land to the south of the current currently approved S.U.P on 5.5 acres for self-storage. Thus, the Special Use shall be completely consistent with contemplated zoned uses, as well as existing uses.

- The S.U.P. request is consistent and harmonious with the zoned uses for the property, which is B-5 on the subject property. It is also harmonious with the adjacent approved use of self-storage on 5.5 acres of B-5 zoned property. Commercial and residential uses in the nearby community are the property uses most likely to need this type of self-storage and this places the proposed self-storage use in a convenient location that places less demand on roads, utilities and other public services.
- The overall site layout and the proposed buildings will be an asset to the surrounding commercial properties. The S.U.P. expansion will utilize the previously approved access management plan for the entire southwest corner of Lincoln and Remus. There will not be additional curb cuts as a result of this expansion. All drive isles will remain larger than those required by the ordinance for which the original 5.5-acre S.U.P. was approved.
- Where adjacent to a residential district there will be planting and screening to obscure view.
- The S.U.P. Application is also consistent with the Master Plan as follows:

SEE EXHIBIT A
- Accordingly, the S.U.P. meets the stated goals of harmony with planned future use of this area, as reflected in the Zoning Ordinance and the Master Plan.

2. The special use shall not change the essential character of the surrounding area.

- As stated above, the applicable analysis here is to compare the proposed use with the character of the surrounding area as contemplated in the Zoning Ordinance and Master Plan and not to compare the application to the current vacant condition. The surrounding use is mixed commercial and includes self-storage.
- The S.U.P. is completely consistent with the community's expectations as reflected in the Master Plan for the following reasons:
 1. The S.U.P. request is consistent and harmonious with the zoned uses for the property which are B5. Commercial and residential are the property uses most likely to need this type of self-storage and this places that use in a convenient location that places less demand on roads, utilities and other public services.
 2. The property is identified in the Master Plan as one of corridors for commercial/light industrial growth. See Exhibit A.
 3. Self-Storage meets the Master Plan's stated desire to accommodate residential rental property. See Exhibit A.
 4. Accordingly, the S.U.P. meets the stated goals of achieving harmony with planned future use of this area as reflected in the Zoning Code and the Master Plan.

The type of business and use which is being proposed is consistent with others along Remus (M-20), not just the current approved S.U.P on the 5.5 acres. It should be noted that there is another self-storage facility just east of this location at the corner of Remus and Bradley Street. That parcel is also zoned B-5.

3. The special use shall not interfere with the general enjoyment of adjacent property.

- The adjacent properties to the north, east, and west are either zoned commercial and/or zoned and operated as commercial.
- Enjoyment of adjacent property will not be affected for the following reasons:
 1. Applicant owns or will own the property on three sides of the SUP area.
 2. Property is zoned B-5 on three sides of the property.
 3. The project site will be screened with decorative wall and green space plantings and will be nearly unseen from adjacent properties.

4. The special use shall not be hazardous to adjacent property or involve uses, activities, materials, or equipment that will be detrimental to the health, safety, or welfare of persons or property through the excessive production of traffic, noise, smoke, odor, fumes, or glare.

- The proposed special use will not:
 1. Involve hazardous activity. No storage of hazardous materials or substances is permitted.
 2. Will not allow storage of any item that produces smoke, odor, fumes or glare.
 3. Will not be detrimental to health, safety or welfare.
- The expansion of the Special Use will utilize the access management plan developed in the original S.U.P. application. Which was based on our discussions with MDOT. Their preferred point of access for the parcel was out to Lincoln Road. Based on this, a Private Roadway was extended from the development east to Lincoln Road. This Roadway has been relocated to the South to allow more distance to the traffic light at Lincoln and Remus, while still abiding by the Isabella County Road Commission's Access Management Design Criteria. Appropriate screening has been shown around the parcel and a chain link fence will surround the parcel to provide security along with security cameras. The complex will have gated access points. The proposed operations will not pose a health, safety or welfare problem.

5. The special use shall be adequately served by essential public facilities and services; or it shall be demonstrated that the person responsible for the proposed special use shall be able to continually provide adequate services and facilities deemed essential to the special use under consideration. The said facilities or services shall be approved by the Central Michigan District Health Department.

- This special use is served by all necessary public and private utilities and services.
- The proposed use will contribute significantly to the Township's operational cost for public utilities.
- No special approval by health agencies is required.

- Further, the proposed development will be extending Public Water and its own Private Storm Sewer Services. Fire Flows were completed in the original S.U.P application by the Township DPW in conjunction with the Mt. Pleasant Fire Department on the Water System to assure that there is adequate flow and pressure for the system. The newly installed County Drain along Lincoln Road also has capacity for the proposed private system.

6. When deemed necessary by the Township Board or Planning Commission, the use shall be adequately screened by distance and landscaping to protect the rights of all adjoining property.

- This concern has been addressed by the screening of the project with a combination of natural screening, plantings and a decorative concrete wall.
- The expansion of the special use will be screened by decorative concrete wall and landscape elements, and is also screened by large wooded areas.
- Property to north, east and west is zoned B-5 and is bordered by M-20 to the north, all of which are appropriate for this special use.
- Property to south and east is owned (or will be owned) by the Applicant.

7. The Township Board or Planning Commission, in connection with approval of any application, may require reasonable undertaking by the applicant to guarantee and assure by agreement, including a performance bond to be posted by the applicant or by some other reasonable surety arrangement at appropriate stages of the planned development, that the development will be executed in accordance with the approved plan.

- The proposed expansion of the currently approved S.U.P. development, if approved will be constructed in compliance with the approved plans. The township has the ability to withhold final occupancy should this not occur.
- The special use will be screened by a decorative concrete wall and landscape elements, and is also screened by a large wooded area.
- Property to north, east and west is zoned B-5 and is bordered by M-20 to the north.
- Property to north, east and west is owned (or will be owned) by the Applicant.

8. That such use will be an asset to the Township.

- The proposed expansion of the currently approved S.U.P development constitutes a significant addition to the Applicant's previous multi-million-dollar investment into the community. The renderings show that the development will be an asset to the community and the surrounding area. This is a needed use for this community, based on the current demand at other facilities.

- This use will be an outstanding asset because:
 1. The project fulfills a public need for well-managed, aesthetically pleasing secure storage.
 2. High density residential which is contemplated for the area is typically bereft of storage space and this use will address that growing need in a proximal location.
 3. Tax base will be significantly increased.
 4. The project will provide additional use and funding base for other public services.

ADDITIONAL CONDITIONS SPECIFIC TO SELF-STORAGE

U. Self-Storage Buildings (Amended Ord 2000-10): Facilities used to provide temporary storage needs for business, apartment dwellers, and other individuals on a self-service basis subject to the following:

1. Allowed as a special use provided they are located in B-4 or B-5 Districts.

- Clearly this use is contemplated for the B-5 District in which it sits.

2. Provided they shall be architecturally designed so as not to have a flat roof, and shall instead have a mansard, gable, hip or gambrel roof design.

- See elevation drawings that demonstrate that this criterion is satisfied.

3. Provided they meet all required conditions of the B-4 or B-5 zone.

- All other B-5 conditions are addressed.

23.4 REQUIRED CONDITIONS B-5

A. Barrier: All development shall be physically separated from the local road by a curb and/or planting strip or other suitable barrier. Such barrier shall effectively eliminate un-channeled vehicle ingress or egress, except for unauthorized access ways.

- The site plan if approved by the Planning Commission shows that this criteria is satisfied.

B. Access Ways: Each separate use, grouping of buildings or grouping of uses as part of a single planned development, shall have at least two (2) access ways from a local road. Such access way shall not be located closer than eighty (80) feet to the point of an intersecting roadway of the local road centerline.

- The site plan if approved by the Planning Commission shows that this criteria is satisfied.

C. Review of Plans: Site plans for the highway service facilities shall be submitted to and shall be reviewed and approved by the Planning Commission, with respect to the above required conditions, and such other site related problems as it deems necessary to assure maximum traffic safety and to assure maximum protection to abutting properties.

- The site plan if approved by the Planning Commission shows that this criteria is satisfied.

D. All outdoor storage shall be in the rear yard and shall be completely screened with an obscuring wall or fence, not less than five (5) feet high, or with a chain link type fence. Greenbelt planting may be required so as to obscure all view from an adjacent residential or business District or from a public street.

- The site plan if approved by the Planning Commission shows that this criteria is satisfied.

E. See Section 29 for lot area, side yards, front yards, rear yards, etc.

No principal or accessory building shall be closer than forty (40) feet to the property line of any residential use or District. A planted landscape area of at least ten (10) feet in width, meeting the screening standards specified in Section 8.31, shall be provided in the required setback.

SECTION 29 SCHEDULES OF LOT, YARD, AND AREA REQUIREMENTS FOR B-5

Minimum Lot Frontage, Lot	100
Width (Feet)	
Minimum Lot Area (Square Feet)	16,000
Maximum Building Height (Feet)	35
Minimum Front Yard Setback (Feet)	50 (A,B)
Minimum Side Yard Setback (Feet)	20 (B)
Minimum Rear Yard Setback (Feet)	25 (A,B)
Maximum Lot Coverage (By All Buildings)	30%

Off-street parking shall be permitted to occupy a portion of the required front yard, provided that there shall be maintained a minimum unobstructed and landscaped setback of ten (10) feet between the nearest point of the off street parking areas, exclusive of access driveways and the nearest right-of-way line as indicated on the Major Thoroughfare Plan.

A lot in the B-4 and B-5 District will provide a side and rear yard of at least forty (40) feet when abutting a residential District.

- The site plan if approved by the Planning Commission shows that this criteria is satisfied.

8.31 SCREENING PROVISIONS

- The site plan if approved by the Planning Commission shows that this criteria is satisfied.

4. All entrances and exits shall be designed in accordance with the Isabella County Road Commission requirements. It is further required that all sites shall provide points of ingress and egress that are located upon a public road. Local traffic movement shall be accommodated within the site so the entering and exiting vehicles will make normal and uncomplicated movements into or out of the public road.

- Traffic easily flows in and out of Lincoln Road.
- The site plan if approved by the Planning Commission shows that this criteria is satisfied.

5. Greenbelt planting and screening will be required so as to obscure view from any adjacent residential District. Screening will also be required where property is within two hundred fifty (250) feet of any residentially zoned property. Screening shall consist of non-deciduous trees, not less than three (3) feet in height, planted and maintained in live condition not less than fifteen (15) feet on centers.

- The Site Plan if approved by the Planning Commission demonstrates that this criteria is satisfied.

6. Maximum length of any self-storage building shall be two hundred fifty (250) feet.

- See Site Plan, each building will not exceed the 225 feet.
- The site plan if approved by the Planning Commission shows that this criterion is satisfied.

7. No storage of combustible or flammable liquids, combustible fibers, or explosive materials, as defined in the fire prevention code, or toxic materials shall be permitted within the self-storage building or upon the premises.

- These items are prohibited in the self-storage area.

8. No storage outside of the self-storage buildings shall be permitted.

- Applicant intends to comply with all applicable conditions and will comply with all zoning requirements.

The use of the premises shall be limited to storage only and shall not be used for operating any other business, for maintaining or repairing of any vehicles, recreational equipment or other

items, for any recreational activity, hobby, or purpose other than the storage of personal items and business items as herein before set forth.

- Applicant intends to comply with all applicable conditions and will comply with all zoning requirements. There is no outdoor self-storage on the premises.

10. All entries, drives and parking areas shall be hard surfaced and shall provide drainage and grading to move storm water away from the storage units.

- Applicant intends to comply with all applicable conditions and will comply with all zoning requirements.

Exhibit A

Compliance with the Master Plan

Plan Goals and Objectives

The proposed expansion of the self-storage facility meets the goals and plan guidelines of the Charter Township of Union's Master Plan. Specifically, the expansion of the existing self-storage use meets the Plan Goals and Objectives as discussed on page 7 of the Master Plan.

Goal 1: Preserve and protect key natural and agricultural resources

1.2. Coordinate utility expansion in a way that encourages development along existing arterial roadways and on vacant or underutilized sites first.

The current development utilizes the uses that are in place along the M-20 corridor. The proposed project provides a needed service with very little demand of the current utility capacity.

1.3. Preserve areas suitable for farming and agriculture-related uses

This proposed expansion utilizes existing B-5 zoned property and does not utilize agricultural zoned lands.

Goal 2: Create a safe, balanced and coordinated multi-modal transportation system adequate to accommodate the ongoing growth and (re)development of Union Township.

The proposed expansion will utilize the current access management plan developed for the southwest corner of the Lincoln and Remus intersection. Specifically, the expansion will utilize the internal interconnected road and not create additional entrances on Remus, in contrast to what could be proposed by a different, more intense, use.

Goal 3: Maintain a well-organized, balanced and efficient use of land in the Township.

3.2. Continue to encourage quality office and commercial development and redevelopment along corridors.

The current self-storage development is commercial in nature and the proposed expansion does nothing to change that. The development is also a continuation of such commercial development along a recognized corridor.

3.3. Encourage sensible, sustainable, diverse, high-quality office, commercial and industrial development in designated areas to ensure employment opportunities remain supported by the community's existing and reasonably anticipated future infrastructure.

The current development has mixed uses including office, commercial and self-storage. It meets the current zoning requirements. The proposed expansion is in an area contiguous that is identified in the Master Plan for future use as Commercial/Light Industrial. This expansion will only encourage future development and together will help foster more employment opportunities within the current and expected future infrastructure.

Future Land use Guidelines

The proposed expansion also has many of the factors necessary to meet the guidelines for future land use planning as provided for in the Master Plan. The Master Plan provides that:

“Zoning decisions should gradually establish greater conformity between the Zoning Map and the Future Land Use Plan. The Future Land Use Map should be carefully considered to ensure consistency is maintained when making decisions on planning and development matters; community changes which directly conflict with the Future Land Use Map could undermine the long-term objectives of the township and should be avoided.”

The following factors are to be considered and for the following reason the proposed expansion meets the spirit of the factors:

- Existing land use - Wholesale changes to the existing land use pattern would be difficult. The locations of most existing commercial and industrial developments are appropriate, and the community land use patterns have evolved around these existing land uses.

The current development includes self-storage in the adjacent B-5 zoning district. The expansion will utilize the same zoning district and same use.

- Relationship of incompatible uses - The future land use plan strives to diminish incompatible land use relationships by providing a transition of land uses, such as offices between retail and single-family residential areas.

The future land use is for Commercial/Light Industrial and contemplates the current zoning, B-5, as compatible. See page 45 of the Master Plan.

- Natural features - The types of development and allowable density shown on the future land use map were determined by the location and extent of natural features. For example, lower overall development densities are proposed for properties containing significant wetland areas to encourage clustering in buildable areas.

Again, the future land use is for Commercial/Light Industrial and contemplates the current zoning, B-5, as compatible. See page 45 of the Master Plan.

- Infrastructure - The density of residential uses and the location of land uses such as industrial and commercial are dependent on the availability and the capacity of the infrastructure system. Portions of the Township are currently served, or are planned to be served, by public water and sewer. The capacity of the road network defines the intensity of uses that may be served without adversely impacting traffic operations. The availability of community facilities such as schools, recreational facilities, police and fire protection places bounds on service to land use, particularly residential density. For this reason, this plan includes a growth boundary.

The current use and proposed use will utilize the same access points as were provided for in the current uses site plan. This access management plan utilizes internal roads and limits curb cuts. The proposed expansion use of the self-storage provides tax revenue without utilizing hardly any water or other utility infrastructure or capacity. The location of the development is

currently and, as identified in the Master Plan, planned for such use. In no small part is that true because of the existence of a state highway and quality local road.

Future Land Use Planning Principles

The following Future land use principles as outlined by the Master Plan are identifiable as part of this project.

- Continue to sustain the overall residential and rural character of the township.

The project does not consume residential or rural zoned land. It utilizes an identified commercial corridor.

- Provide an attractive business environment and opportunities for businesses to expand the economic diversity of Union Township and contribute to the overall economic strength.

The proposed development only enhances the current investment and mixed use on the overall development property owned or affiliated with the applicant. It is a continuation of the applicant's desire to provide a service that is needed throughout the entire community, further contributing to its overall economic strength.

- Ensure the transition from one use or grouping of uses to another is compatible with surrounding uses through screening and buffering.

The proposed project will utilize all required screening and buffering.

- Promote systematic development of residential, commercial, and industrial uses in specific areas and corridors as recommended to take advantage of existing infrastructure and future improvements.

The proposed S.U.P. expansion does exactly that.

SECTION 30 SPECIAL USE PERMITS

30.1 PURPOSE

Special Uses are those uses of land that are not essentially incompatible with the uses permitted in a Zoning District but possess characteristics or locational qualities that require individual review and restriction in order to avoid incompatibility with the character of the surrounding area, public services and facilities, and adjacent uses of land. The purpose of this section is to establish equitable procedures and criteria that shall be applied in the determination of requests to establish Special Uses. The criteria for discussion and requirements, provided for under the provisions of this section, shall be in addition to those required elsewhere in this Ordinance that are applicable to the special use under consideration.

30.2 APPLICATION PROCEDURES

An application for permission to establish a special use shall be submitted and acted upon in accordance with the following procedures:

A. Application: Applications for a special use permit shall be submitted through the Zoning Official to the Planning Commission. Each application shall be accompanied by the payment of a fee in accordance with the schedule of fees adopted by the Township Board to cover the cost of processing the application. No part of any fee shall be refundable.

B. Required Information: An application for a special use permit shall be accompanied by the following documents and information:

1. A special use application form, supplied by the Zoning Official, that has been completed in full by the applicant.
2. A site plan in accordance with Section 12.

C. Hearing: The Planning Commission shall hold a public hearing or hearings on the special use request per section 7.8.

D. Review: Within a reasonable time following the public hearing, the Planning Commission shall review the application for the special use permit, testimony received at the public hearing, and other materials submitted in relation to the request and make a recommendation to the Township Board. Approving or denying the special use application shall be in accord with the criteria for approval stated in Section 30.3 and such other standards contained in this Ordinance that relate to the special uses under consideration. The Planning Commission may request a report on any special use application from the Zoning Official for the purpose of evaluating conformance of the special use request with the requirements of this Ordinance and the development objectives of the Township.

E. Issuance of a Special Use Permit: Upon the approval by the Township Board, there will be a special use permit issued, signed by the Chairman of the Planning Commission and the Zoning Official. The permit shall include any restrictions that the Township Board or the Planning Commission deems necessary. Implementation of the special use shall be consistent with the use applied for and approved. The permit shall become valid twenty-one (21) days after the date of decision. It shall be the responsibility of the Zoning Official to ensure compliance with the terms, conditions, and restrictions of any special use permit.

F. Appeal: Within twenty-one (21) days following the date of decision on any special use permit, an applicant or an aggrieved party, including any governmental body or agency, may appeal the decision to the Circuit Court.

G. Decisions All decisions of the Township Board, and Planning Commission relating to special use applications, including the findings supporting any decision, shall be recorded in written form and retained as permanent record.

30.3 BASIS OF DETERMINATIONS

Prior to recommending to the Township Board approval or disapproval of a special use application, the Planning Commission shall ensure that the requirements specified in this section, as well as requirements of the District it is located in and applicable requirements established elsewhere in this Ordinance, shall be satisfied by the completion and operation of the special use under consideration.

A. General Requirements for Special Uses: The applicant shall follow these requirements and recommendations made by the Planning Commission after their review. The general requirements for all special uses are as follows:

1. The special use shall be designed, constructed, operated, and maintained in a manner harmonious with the character of adjacent property and the surrounding area.
2. The special use shall not change the essential character of the surrounding area.
3. The special use shall not interfere with the general enjoyment of adjacent property.
4. The special use shall not be hazardous to adjacent property or involve uses, activities, materials, or equipment that will be detrimental to the health, safety, or welfare of persons or property through the excessive production of traffic, noise, smoke, odor, fumes, or glare.
5. The special use shall be adequately served by essential public facilities and services; or it shall be demonstrated that the person responsible for the proposed special use shall be able to continually provide adequate services and facilities deemed essential to the special use under consideration. The said facilities or services shall be approved by the Central Michigan District Health Department.
6. When deemed necessary by the Township Board or Planning Commission, the use shall be adequately screened by distance and landscaping to protect the rights of all adjoining property.
7. The Township Board or Planning Commission, in connection with approval of any application, may require reasonable undertaking by the applicant to guarantee and assure by agreement, including a performance bond to be posted by the applicant or by some other reasonable surety arrangement at appropriate stages of the planned development, that the development will be executed in accordance with the approved plan.
8. That such use will be an asset to the Township.
9. Requirements and conditions of each individual special use permitted shall be complied with, unless otherwise mentioned within this Section.
10. Any special use permit may be revoked by the Union Township Board upon recommendation of the Union Township Planning Commission whenever the operation fails to comply with any of the required conditions or may be subject to the penalties of this Ordinance.
 - a) Approval of a special use permit shall be valid regardless of change of ownership, provided that all terms and conditions of the permit are met by any subsequent owner.
 - b) In instances where development authorized by a special use permit has not commenced within one (1) year from the date of issuance, the permit maybe reconsidered and/or voided at a regularly called meeting of the Planning Commission.

30.4 SPECIAL USES PERMITTED (X, NEW, 1993-6 ORDINANCE; Y, NEW, 1995-6 ORDINANCE)

The following special uses may be permitted within the specified Districts:

A. Adult Entertainment Activities: (Deleted as Special Use Permit, Ord 2005-03)

B. Airports, Public or Private, Provided:

8. All truck operations shall be directed away from residential streets, whenever practical.
9. All permit applications for excavations must be co-signed by landowner and operator.

T. Second Living Quarters on a Farm: The use of a second single-family dwelling unit or one (1) two-family dwelling unit as a second living quarters on a farm may be permitted for a member, or members, of the owner's family or for an unrelated family having permanent employment on the farm, provided:

1. Allowed as a special use provided they are located in AG Districts.
2. Lot area requirements of AG District are met.
3. No dwelling permitted under this section may be located in a front yard space of the principal dwelling or closer to the front lot line than fifty (50) feet.
4. A dwelling shall be no closer than thirty (30) feet to the rear or side wall of the principal dwelling on the premises or closer than thirty (30) feet to any barn, accessory farm structure, or to any lot line of adjoining property.
5. Approval from the Central Michigan District Health Department must be obtained for water well and sewage disposal facilities.

U. Self-Storage Buildings (Amended Ord 2000-10) : Facilities used to provide temporary storage needs for business, apartment dwellers, and other individuals on a self-service basis subject to the following:

1. Allowed as a special use provided they are located in B-4 or B-5 Districts.
2. Provided they shall be architecturally designed so as not to have a flat roof, and shall instead have a mansard, gable, hip or gambrel roof design.
3. Provided they meet all required conditions of the B-4 or B-5 zone.
4. All entrances and exits shall be designed in accordance with the Isabella County Road Commission requirements. It is further required that all sites shall provide points of ingress and egress that are located upon a public road. Local traffic movement shall be accommodated within the site so the entering and exiting vehicles will make normal and uncomplicated movements into or out of the public road.
5. Greenbelt planting and screening will be required so as to obscure view from any adjacent residential District. Screening will also be required where property is within two hundred fifty (250) feet of any residentially zoned property. Screening shall consist of non-deciduous trees, not less than three (3) feet in height, planted and maintained in live condition not less than fifteen (15) feet on centers.
6. Maximum length of any self-storage building shall be two hundred fifty (250) feet.
7. No storage of combustible or flammable liquids, combustible fibers, or explosive materials, as defined in the fire prevention code, or toxic materials shall be permitted within the self-storage building or upon the premises.
8. No storage outside of the self-storage buildings shall be permitted.

The use of the premises shall be limited to storage only and shall not be used for operating any other business, for maintaining or repairing of any vehicles, recreational equipment or other items, for any recreational activity, hobby, or purpose other than the storage of personal items and business items as herein be fore set forth.

10. All entries, drives and parking areas shall be hard surfaced and shall provide drainage and grading to move storm water away from the storage units.

V. State-Licensed Residential Facilities:

1. State-licensed residential facilities are only located within Ag Districts.
2. State-licensed residential facilities as defined and properly licensed by Act 218 of the Public Acts of 1979 and Act 116 of the Public Acts of 1973, as amended, which provide resident services for seven (7) or more persons under twenty-four (24) hour supervision, shall only be permitted in AG Districts. Notifications of such proposed special use shall be mailed to all residents within a one thousand five hundred (1,500) foot radius to the property lines of the proposed site as directed by MCLA 125.216(a); MSA 5.2961 (16A).

W. Veterinarian Services:

1. Veterinarian services shall be permitted only in the AG District.
2. All buildings shall be set back a minimum of fifty (50) feet from all lot lines.
3. If animals are housed outdoors, the animals shall be housed at least one hundred (100) feet from all lot lines and at least five hundred (500) feet from any R-1, R-2A, R-2B, R- 3, R-4, or R-5 District.

X. Mobile and Modular Home Sales, Provided

1. They shall be located in a B-6 or B-7 district as a Special Use only (Amended Ord. 1998-21).
2. Entrances and exits as specified in Section 30.4.B.2.
3. Driveways and Parking areas as specified in Section 30.4.B.2.
4. They shall meet the standards in Section 24.4.
5. Maximum lot coverage (By All Buildings including display models) shall not exceed 30% of Gross Lot Area unless the conditions and requirements of Section 24.4.E. are complied with.
6. The premises shall not be used for repairing or restoration of any mobile or modular homes, or other items unless such repair or restoration shall be conducted in a fully enclosed building.
7. Service vehicles shall be parked on a paved surface and completely screened from view of adjacent properties.
8. Lighting of outdoor display areas shall be shielded so as to deflect light away from adjacent properties. Such lighting shall also be deflected away from any adjacent properties. Such lighting shall also be deflected away from any adjacent street so as not to interfere with traffic.
9. The distance between display models shall not be less than ten (10) feet.
10. Display units shall be skirted immediately upon placement on the sales lot.

Y. Multiple-Family Dwellings of Five or More Units, Provided: (New, Ord 1995-6)

1. The building(s) are located in a R-3 District.

AFFIDAVIT OF PUBLICATION

2125 Butterfield Dr, Suite 102N • Troy MI 48084

CHARTER TOWNSHIP OF UNION
2010 S Lincoln

Mount Pleasant, MI 48858
Attention: PETER GALLINAT

STATE OF MICHIGAN,
COUNTY OF ISABELLA

The undersigned Cindy Slater *Cindy Slater*, being duly sworn the he/she is the principal clerk of Morning Sun, morningstarpublishing.com, published in the English language for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

UNION TOWNSHIP PUBLIC HEARING NOTICE - SPECIAL USE PERMIT AMENDMENT

NOTICE is hereby given that a Public Hearing will be held on Tuesday, April 16, 2019, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following request for a Special Use Permit, as allowed by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by **McGuirk Mini Storage Inc.** An expansion of existing self-storage buildings currently allowed under existing special use permit.

Legal Description of property: T14N R4W, SEC 20, COM 1575.04 FT S OF NE COR, TH W 633.42 FT; TH N01°03'50" W 861.74 FT; TH S89°42'08" W 1313.6 FT; TH S 622.41 FT, E 619.03 FT, S 658.67 FT, E 1333.25 FT, N 406.35 TO POB CONTAINING 35.27 ACRES

These properties are located at: 5. Lincoln Rd. MOUNT PLEASANT, MI 48858 PID 14-020-20-001-05

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,
Township Planner
Published: April 1, 2019

CHARTER TOWNSHIP OF UNION

Published in the following edition(s):

Morning Sun	04/03/19
morningstarpublishing.com	04/03/19

TINA M CROWN
Notary Public - Michigan
Lapeer County
My Commission Expires Mar 30, 2021
Acting in the County of Oakland

Sworn to the subscribed before me this 4th April 2019

Tina M Crown

Notary Public, State of Michigan
Acting in Oakland County

Advertisement Information

Client Id: 531226 Ad Id: 1778521 PO: Sales Person: 200308

Jennifer Loveberry

From: Peter Gallinat
Sent: Tuesday, April 02, 2019 3:53 PM
To: Jennifer Loveberry
Subject: FW: McGuirk Mini Storage South Site Plan

McGuirk Site Plan for SUP Lincoln Rd. self-storage expansion.

Peter Gallinat
Township Planner
Charter Twp of Union
2010 S. Lincoln Rd.
Mt Pleasant, MI 48858
989-772-4600 x 241
pgallinat@uniontownshipmi.com

From: Rick Collins <rcollins@ictcbus.com>
Sent: Monday, April 01, 2019 4:31 PM
To: info@cms-d.com
Cc: Peter Gallinat <pgallinat@uniontownshipmi.com>
Subject: RE: McGuirk Mini Storage South Site Plan

I have reviewed the McGuirk Mini Storage South Parcel Site Plan and have no issue.



Rick Collins | Executive Director
2100 E. Transportation Dr | Mt. Pleasant, MI 48858
Phone 989.773.6766 | Fax 989.773.1873
rcollins@ictcbus.com
Visit our website at ictcbus.com

From: info@cms-d.com [<mailto:info@cms-d.com>]
Sent: Thursday, March 28, 2019 11:07 AM
To: Rick Collins <rcollins@ictcbus.com>
Subject: McGuirk Mini Storage South Site Plan

Rick,

Attached is our submittal for McGuirk Mini Storage South Parcel Site Plan to Union Township.

Please review and let us know your comments or questions.

Shanee Thayer
Office Manger



CMS & D
SUSTAINING/CONCRETEWAYS

2257 East Broomfield Road
Mt. Pleasant, MI 48858
Phone: 989-775-0756
Fax: 989-775-5012
Email: info@cms-d.com



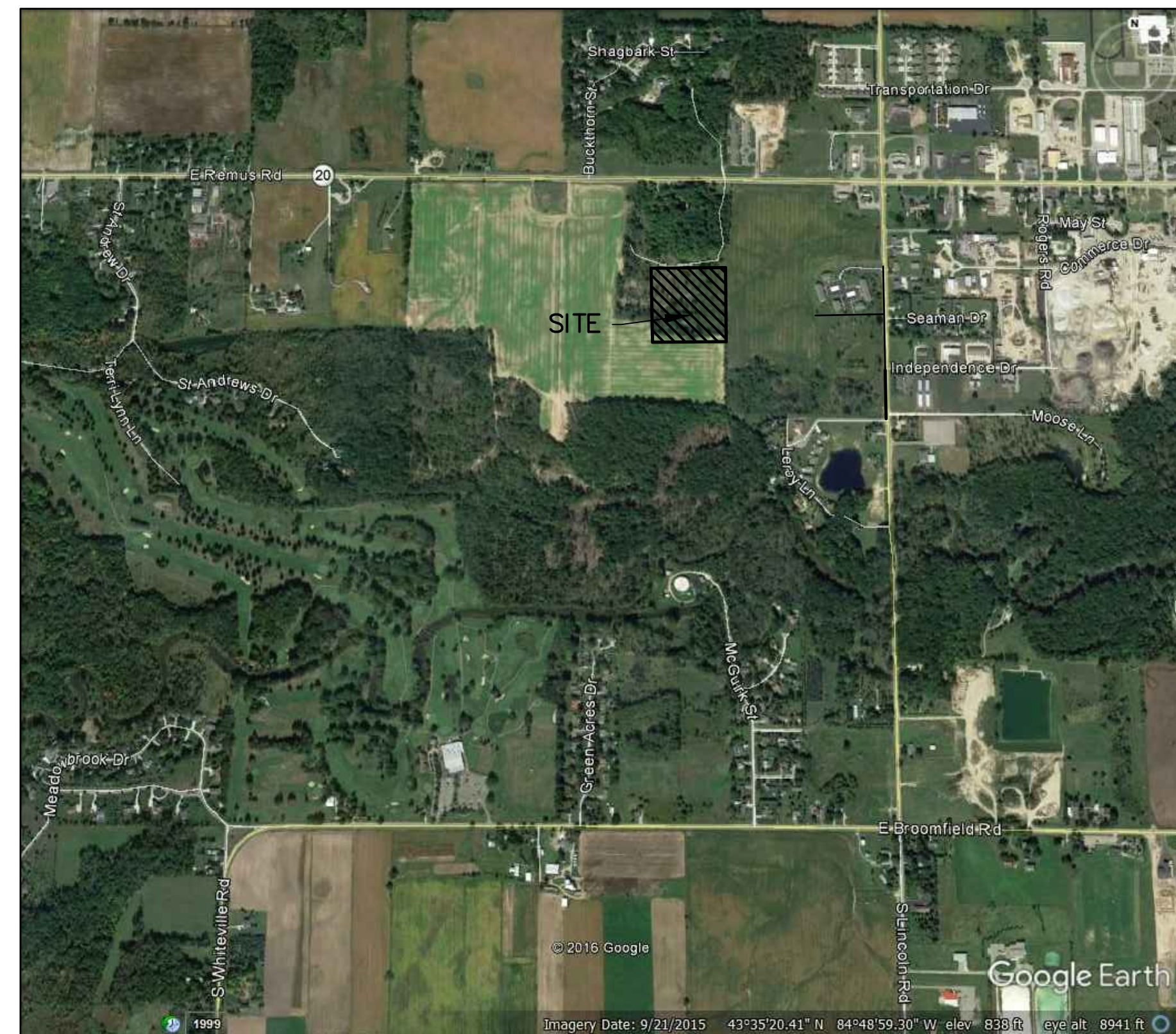
Virus-free. www.avg.com

SITE PLAN FOR COMMERCIAL PROPERTY LINCOLN RD. & E. REMUS RD. (M-20)

CMS & D
SURVEYING / ENGINEERING
2257 E. BROOMFIELD RD.
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com



COVER SHEET
MCGUIRK MINI STORAGE INC.
PART OF THE NORTHEAST 1/4
SECTION 20, T14N-R4W
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN



PART OF THE NORTHEAST 1/4, SECTION 20, T14N-R4W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN
LOCATION MAP
NOT TO SCALE

B-5 ZONE	
MINIMUM FRONT YARD SETBACK	50 FT (A,B)
MINIMUM SIDE YARD SETBACK	20 FT (B)
MINIMUM REAR YARD SETBACK	25 FT (A,B)
MINIMUM LOT FRONTAGE	100 FT
MINIMUM LOT AREA (SQ FT)	16,000 SQ FT
MAXIMUM BUILDING HEIGHT	35 FT
MAXIMUM LOT COVERAGE (%)	30%

- A. OFF-STREET PARKING SHALL BE PERMITTED TO OCCUPY A PORTION OF THE REQUIRED FRONT YARD, PROVIDED THAT THERE SHALL BE MAINTAINED A MINIMUM UNOBSTRUCTED AND LANDSCAPED SETBACK OF TEN (10) FEET BETWEEN THE NEAREST POINT OF THE OFF-STREET PARKING AREAS, EXCLUSIVE OF ACCESS DRIVEWAYS AND THE NEAREST RIGHT-OF-WAY LINE AS INDICATED ON THE MAJOR THOROUGHFARE PLAN.
- B. A LOT IN THE B-5 DISTRICT WILL PROVIDE A SIDE AND REAR YARD OF AT LEAST FORTY (40) FEET WHEN ABUTTING A RESIDENTIAL DISTRICT.

MISS DIG:
FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

UTILITY NOTE:
THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-282-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE, AND CABLE MAY BE ACROSS PROPERTY, NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.

SHEET INDEX	
1	COVER SHEET
2	EXISTING TOPOGRAPHY 60 SCALE
3	EXISTING TOPOGRAPHY 40 SCALE
4	SITE/UTILITY PLAN

FLOOD ZONE CERTIFICATION:
A PORTION OF SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF A BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 26073C0305D WITH AN EFFECTIVE DATE OF FEBRUARY 5, 2014 FOR ISABELLA COUNTY, MICHIGAN COMMUNITY NO. 260812 IN UNION CHARTER TOWNSHIP, ISABELLA COUNTY, STATE OF MICHIGAN WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.

BENCHMARKS:
BENCHMARK #1: FOUND AN ALUMINUM MICHIGAN DEPARTMENT OF TRANSPORTATION HEIGHT MODERNIZATION MARK DISK SET IN THE TOP OF A 12 INCH DIAMETER CONCRETE POST. LOCATION IS AT THE SOUTH EAST CORNER OF THE LINCOLN ROAD AND REMUS ROAD (M-20) INTERSECTION. ELEVATION 786.62

BEARING BASIS:
PER GEODETIC OBSERVATION WGS-84 THE BEARING BETWEEN THE NORTHEAST CORNER AND THE NORTH 1/4 CORNER OF SECTION 20, T14N-R4W WAS DETERMINED TO BE S89°-42'-08"W.

SITE: PART OF THE NORTHEAST 1/4 OF SECTION 20, T.14 N. - R.04 W., UNION TOWNSHIP, ISABELLA COUNTY.

CLIENT: MCGUIRK MINI STORAGE
3046 JENS WAY
MT. PLEASANT, MI 48858
CONTACT: CHUCK MCGUIRK
PHONE: (989) 772-1309

CONSULTANT: CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC.
2257 EAST BROOMFIELD ROAD
MT. PLEASANT, MI 48858
CONTACT PERSON: TIMOTHY E BEBEE
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com

CHARTER COMMUNICATIONS
915 E. BROOMFIELD ROAD
MT. PLEASANT, MI 48858
(989) 621-4932
RANDY BUNKER
rbunker@chartercom.com

CHARTER TOWNSHIP OF UNION
PUBLIC WATER/PUBLIC SEWER
2010 N. LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT 24
KIM SMITH
ksmith@uniontownshipmi.com

CONSUMERS ENERGY
1325 WRIGHT AVENUE
ALMA, MI 48801
(989) 466-4282
KIM STUDDT
kimberly.studdt@cmsenergy.com

CHARTER TOWNSHIP OF UNION
PLANNING & ZONING
2010 NORTH LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT 241
PETER GALLINAT
pgallinat@uniontownshipmi.com

FRONTIER
345 PINE STREET
ALMA, MI 48801
(989) 463-0392
MARK A. MARSHALL
Mark.Marshall@ftr.com

DRAIN COMMISSIONERS OFFICE
ISABELLA COUNTY BUILDING
200 NORTH MAIN STREET ROOM 140
MT. PLEASANT, MI 48857
(989) 773-0911
RICK JAKUBIEC
drain@isabellacounty.org

DTE ENERGY
4420 44TH ST., S.E., SUITE B
KENTWOOD, MI 49512
(616) 954-4623
MARY JO MCKERSIE
mckersiem@dteenergy.com

ISABELLA COUNTY ROAD COMMISSION
2261 EAST REMUS ROAD
MT. PLEASANT, MI 48858
(989) 773-7131 EXT 115
PATRICK GAFFNEY
PcGaffney@isabellaroads.com

MT. PLEASANT FIRE DEPARTMENT
804 EAST HIGH STREET
MT. PLEASANT, MI 48858
(989) 779-5100 EXT 5122
SGT. RANDY KEELER
rkeeler@mt-pleasant.org

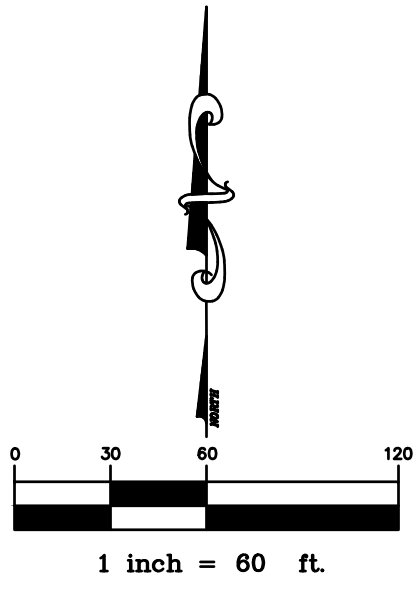
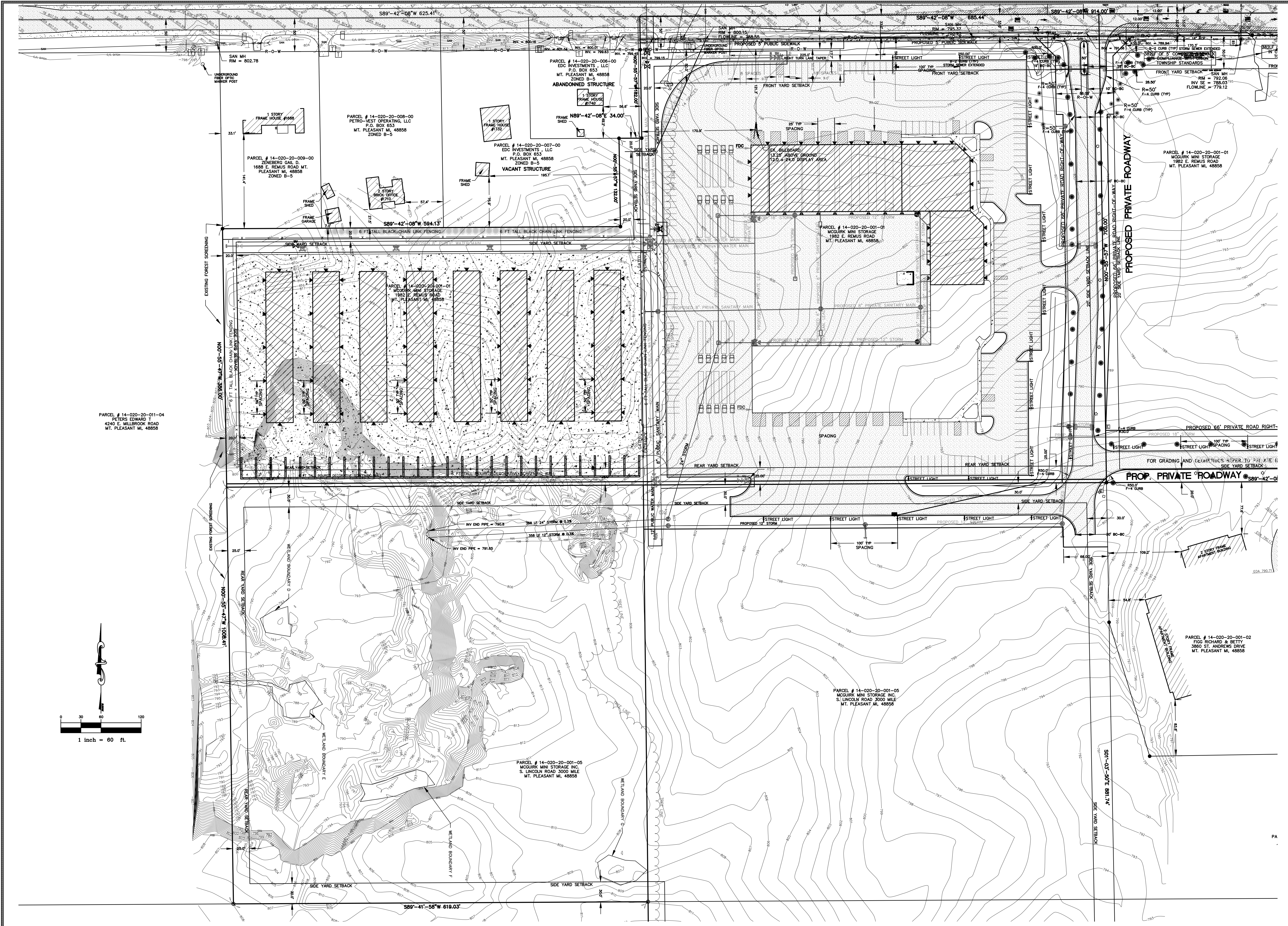
LEGEND
SYMBOLS

<ul style="list-style-type: none"> ○ BOLLARD ▤ CATCH BASIN (CURB INLET) ⊙ CATCH BASIN (ROUND) □ CATCH BASIN (SQUARE) ○ CLEAN OUT → DRAINAGE FLOW ▭ ELECTRICAL BOX ● FOUND CONC. MONUMENT ○ FOUND IRON ⊗ GAS MAIN VALVE 	<ul style="list-style-type: none"> ⊠ GAS RISER ⌵ GUY ANCHOR ⊗ HYDRANT - EXISTING ⊗ HYDRANT - PROPOSED ⊕ LIGHT POLE ⊠ MAILBOX ⊕ MONITORING WELL ⊕ SANITARY SEWER MANHOLE ● SET IRON — SIGN 	<ul style="list-style-type: none"> ⊕ SOIL BORING ⊕ STORM SEWER MANHOLE ⊠ TELEPHONE RISER ● TREE - CONIFEROUS ● TREE - DECIDUOUS ⊕ UTILITY POLE ⊕ WATER MAIN VALVE ⊕ WATER SHUT-OFF ⊕ WATER WELL ⊠ WOOD STAKE
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<p style="text-align: center;">LINETYPES</p> <ul style="list-style-type: none"> — ELEC. — BURIED ELECTRICAL CABLE — PHONE — BURIED TELEPHONE CABLE — DITCH-CL — CENTERLINE OF DITCH — FM — FORCE MAIN — GAS — GAS MAIN — RD-CL — ROAD CENTERLINE — 8" SAN — SANITARY SEWER — 12" SS — STORM SEWER — EX-TOS — TOE OF SLOPE — EX-TOB — TOP OF BANK — OHE — UTILITIES - OVERHEAD — UTL — UTILITIES - UNDERGROUND — 12" WM — WATER MAIN 	<p style="text-align: center;">HATCH PATTERNS</p> <ul style="list-style-type: none"> ▨ ASPHALT - EXISTING ▨ ASPHALT - PROPOSED ▨ CONCRETE ▨ GRAVEL ▨ LANDSCAPING ▨ RIP-RAP
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EXISTING R-3A PARCEL DESCRIPTION: PROPOSED REZONE TO B-5:
A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 20, T.14 N. - R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 20; THENCE S.00°-55'-57"E., ON AND ALONG THE EAST LINE OF SAID SECTION, 700.00 FEET; THENCE S.89°-42'-08"W., PARALLEL WITH THE NORTH LINE OF SAID SECTION, 1327.12 FEET TO A POINT ON THE EAST 1/8 LINE OF SAID SECTION AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.00°-39'-12"E., ON AND ALONG SAID EAST 1/8 LINE, 622.35 FEET TO ITS INTERSECTION WITH THE NORTH 1/8 LINE OF SAID SECTION; THENCE S.89°-41'-58"W., ON AND ALONG SAID NORTH 1/8 LINE, 619.03 FEET; THENCE N.00°-55'-47"W., PARALLEL WITH SAID EAST SECTION LINE, 622.41 FEET; THENCE N.89°-42'-08"E., PARALLEL WITH SAID NORTH SECTION LINE, 622.03 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 8.87 ACRES OF LAND AND SUBJECT TO AND TOGETHER WITH ANY EASMENTS AND/OR RESTRICTIONS OF RECORD.

REVISIONS:	1808-082	SCALE	N/A
	WRE	DRAWN BY:	
	N/A	DESIGNED BY:	
	N/A	CHECKED BY:	TELB
	1 OF 4	SHEET NUMBER	
	64		



CMS & D
SURVEYING / ENGINEERING
2257 E. Broomfield Rd.
Mt. Pleasant, Michigan 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com

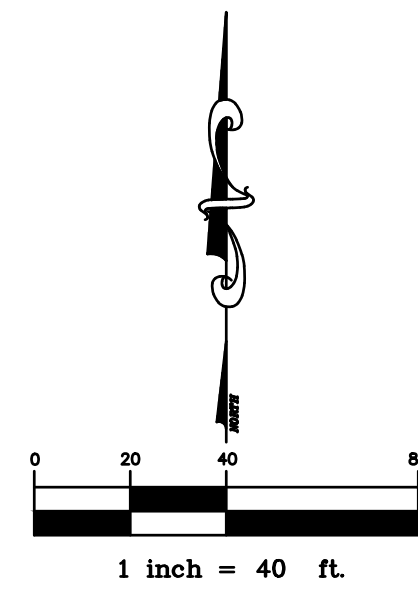
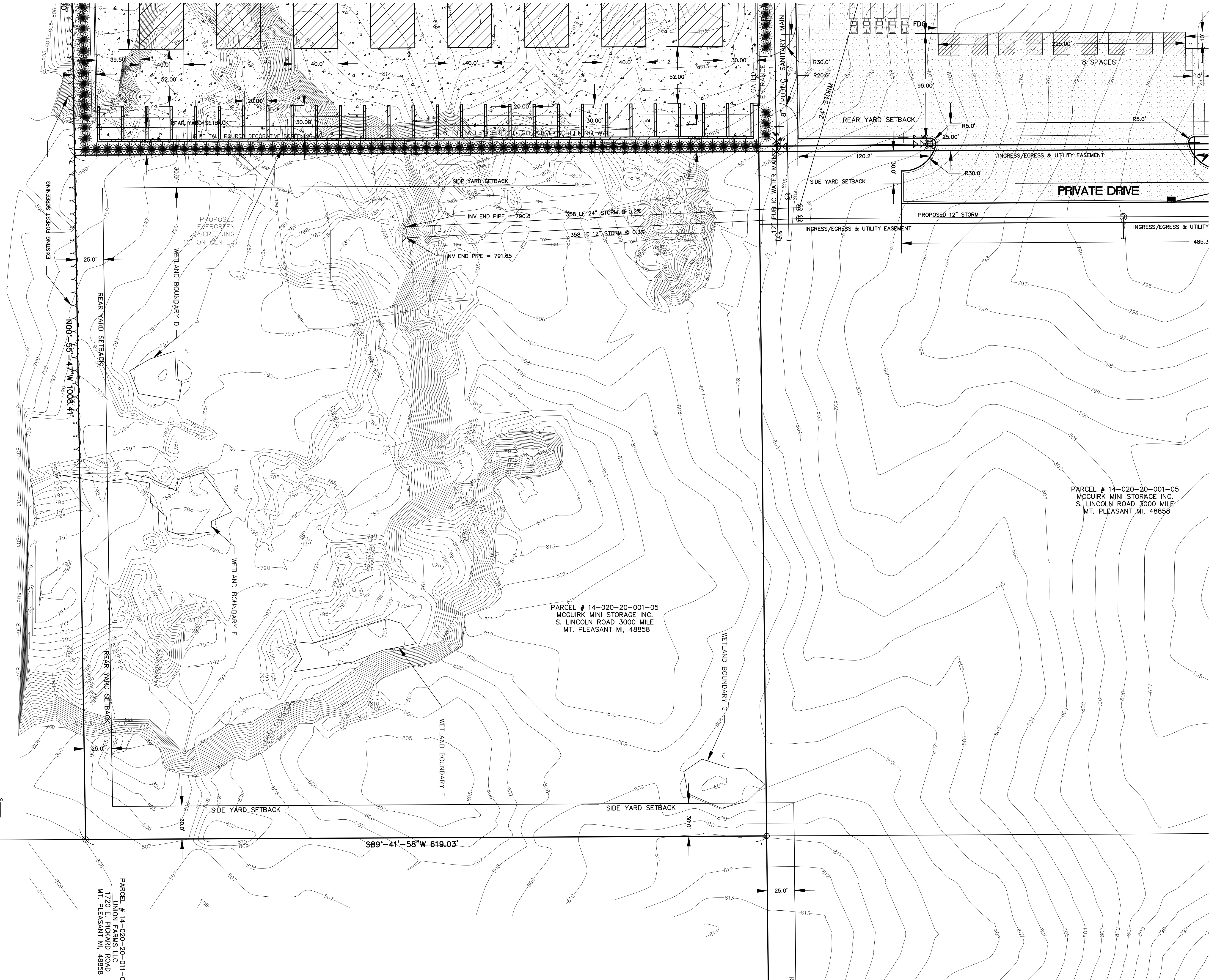


EXISTING TOPOGRAPHY 60 SCALE
MCGUIRK MINI STORAGE INC.
PART OF THE NORTHEAST 1/4
SECTION 20, T14N-R4W
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

SUBMITTALS:	SUBMITTAL TO TOWNSHIP 3-26-19
JOB NUMBER:	1808-082
DRAWN BY:	WRE
DESIGNED BY:	N/A
CHECKED BY:	TELB
SCALE:	1" = 60'
SHEET NUMBER:	2 OF 4

95

PARCEL # 14-020-20-011-04
 PETERS EDWARD T
 4240 E. MILLBROOK ROAD
 MT. PLEASANT MI, 48858



PARCEL # 14-020-20-011-C
 UNION FARMS LLC
 1720 E. PICKARD ROAD
 MT. PLEASANT MI, 48858

PARCEL # 14-020-20-001-05
 MCGUIRK MINI STORAGE INC.
 S. LINCOLN ROAD 3000 MILE
 MT. PLEASANT MI, 48858

PARCEL # 14-020-20-001-05
 MCGUIRK MINI STORAGE INC.
 S. LINCOLN ROAD 3000 MILE
 MT. PLEASANT MI, 48858

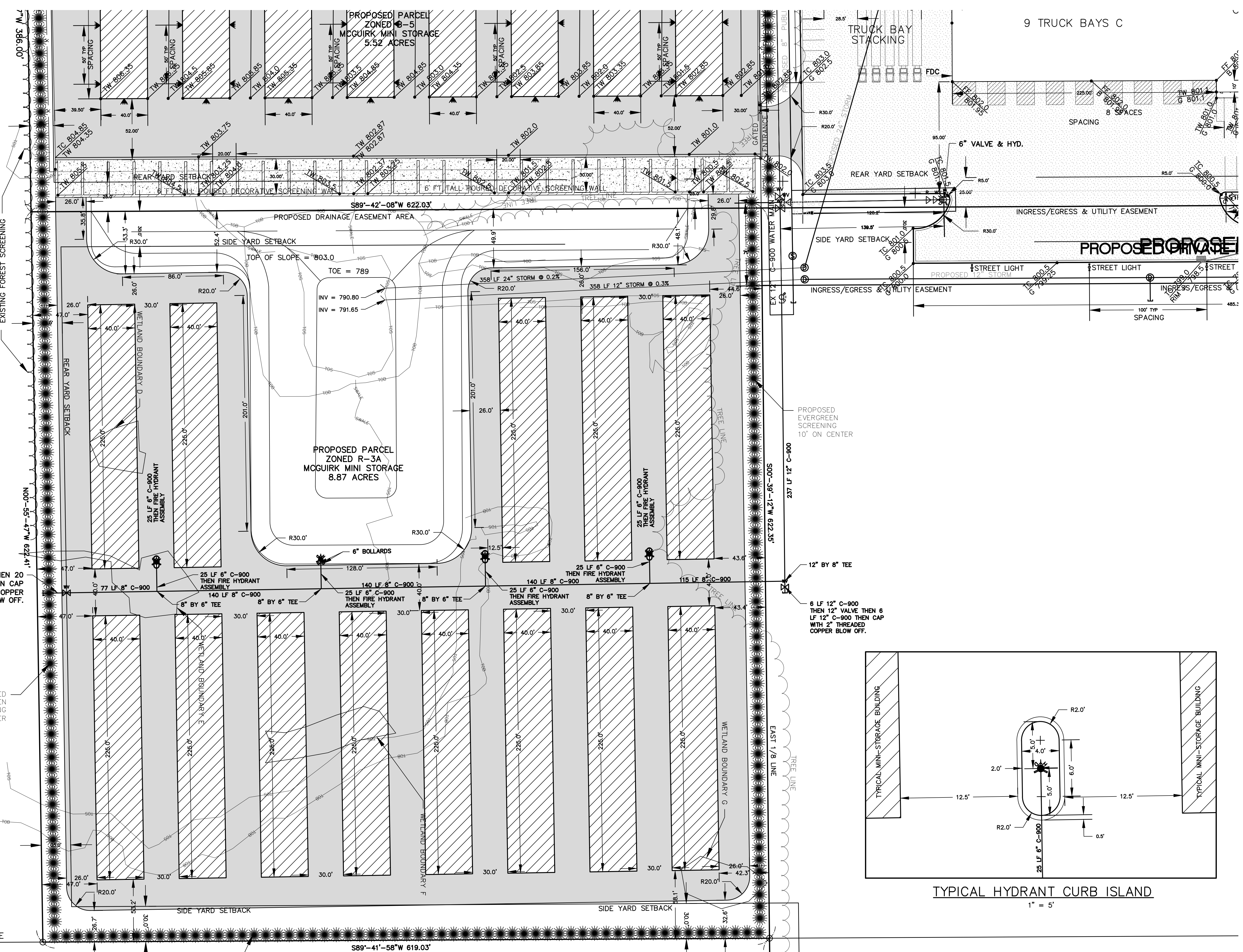
CMS & D
 SURVEYING / ENGINEERING
 2257 E. BROOMFIELD RD.
 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0756
 FAX: (989) 775-5012
 EMAIL: info@cms-d.com



EXISTING TOPOGRAPHY 40 SACLE
 MCGUIRK MINI STORAGE INC.
 PART OF THE NORTHEAST 1/4
 SECTION 20, T14N-R4W
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

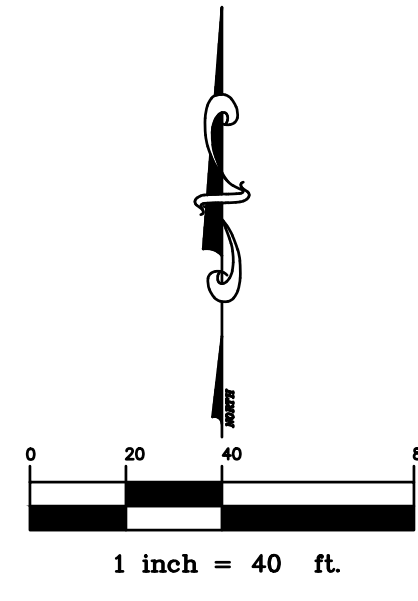
SCALE	1" = 40'
SHEET NUMBER	3 OF 4
JOB NUMBER:	1808-082
DRAWN BY:	WRE
DESIGNED BY:	N/A
CHECKED BY:	TELB
REVISIONS:	
SUBMITTALS:	SUBMITTAL TO TOWNSHIP 3-26-19

PARCEL # 14-020-20-011-00
 UNION FARMS LLC
 1720 E. PICKARD ROAD
 MT. PLEASANT MI, 48858
 ZONED B-5



INSTALL 8" VALVE, THEN 20 LF OF 8" C-900, THEN CAP WITH 2" THREADED COPPER BLOW OFF.

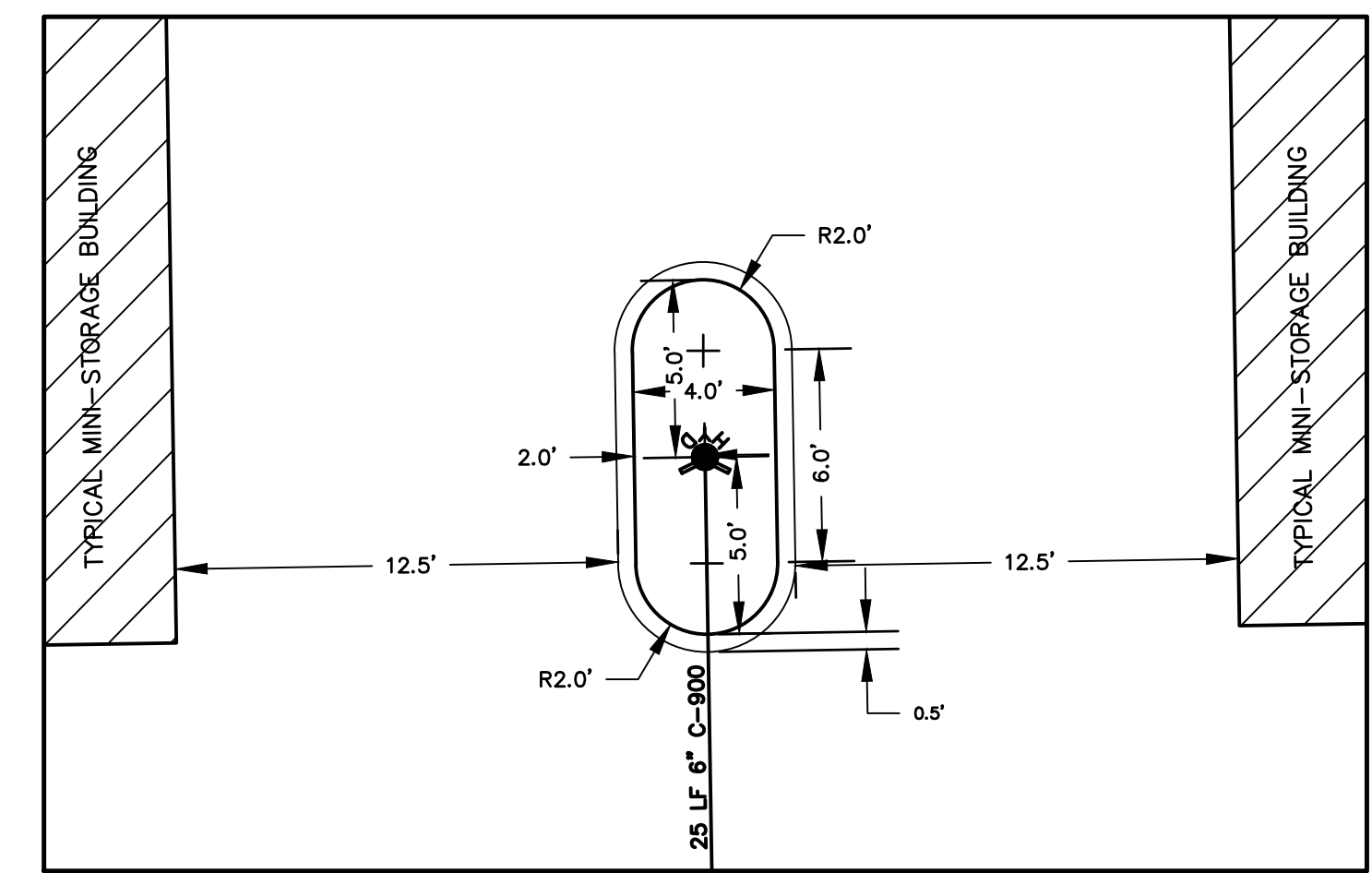
PROPOSED EVERGREEN SCREENING 10' ON CENTER



NORTH 1/8 LINE

PARCEL # 14-020-20-011-00
 UNION FARMS LLC
 1720 E. PICKARD ROAD
 MT. PLEASANT MI, 48858

PROPOSED EVERGREEN SCREENING 10' ON CENTER



TYPICAL HYDRANT CURB ISLAND

1" = 5'

CMS & D
 SURVEYING / ENGINEERING
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 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0756
 FAX: (989) 775-5012
 EMAIL: info@cms-d.com



SITE PLAN
 MCGUIRK MINI STORAGE INC.
 PART OF THE NORTHEAST 1/4
 SECTION 20, T14N-R4W
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

NO.	DATE	DESCRIPTION

JOB NUMBER:	1808-082
DRAWN BY:	WRE
DESIGNED BY:	XXX
CHECKED BY:	TEL

SCALE:	1" = 40'
SHEET NUMBER:	4 OF 4